

A Planning Application For: ONE HAYWARD

1 HAYWARD AVENUE

SAN MATEO, CA 94402



PROJECT DATA

BICYCLE PARKING REQUIRED: PER SAN MATEO CITY CHARTER AND MUNICIPAL CODE, 27.64.262

MULTI-FAMILY DWELLING
ONE BEDROOM
05 SHORT-TERM SPACE / UNIT REQUIRED
1 LONG-TERM SPACE / UNIT REQUIRED

OFFICE
1 SHORT-TERM SPACE PER 20,000 S.F. REQUIRED
1 LONG-TERM SPACE PER 10,000 S.F. REQUIRED

BICYCLE PARKING PROVIDED:
RESIDENTIAL:
OFFICE:

18 UNITS = (9) 1 SPACE
18 UNITS = (18) 18 SPACES

4,650 S.F. / 20,000 S.F. = (.23) 1 SPACE
4,650 S.F. / 10,000 S.F. = (.47) 1 SPACE

2 SHORT TERM, 18 LONG TERM
2 SHORT TERM, 1 LONG TERM

PROJECT DATA

PROJECT ADDRESS: 1 HAYWARD AVE, SAN MATEO, CA 94402

ASSESSOR'S PARCEL NO.:
ZONING:
SITE AREA:
OCCUPANCY:

APN 034-275-130
E2-1/R-4 EXECUTIVE OFFICE WITH RESIDENTIAL OVERLAY
±12,820 S.F. / .29 ACRES
B, R-2, S-2

MAX. ALLOWABLE AREA / MAX. F.A.R. :
PROPOSED F.A.R. (SEE A0.22 FOR CALCULATION):

25,640 S.F. / 2.0
23,275 / 12,820 = 1.82

ALLOWABLE HEIGHT:
PROPOSED HEIGHT:

40'-0" / 55' IF LOT DEEPER THAN 100'
44'-8"

ALLOWED DENSITY: 12,280 S.F. / 1,000 S.F. (27.26.04)
PROPOSED STATE DENSITY BONUS PROVIDING 16% VERY LOW BMR UNITS = 12 UNIT X 1.5 =

12 UNITS
18 UNITS

PARCEL COVERAGE ALLOWABLE (MAXIMUM):
PARCEL COVERAGE PROVIDED (SEE A0.23 FOR CALCULATION):

80%
3,260 / 12,820 = 75%

USABLE OPEN SPACE REQUIRED (80 S.F. X 18 UNITS) :
USABLE OPEN SPACE PROVIDED (SEE A0.24 FOR CALCULATION):

1,440 S.F.
2,550 S.F.

ALLOWABLE AREA AND HEIGHT CALCULATION

TYPE OF CONSTRUCTION
AUTOMATIC SPRINKLER CONFIGURATION:
(BUILDINGS TWO OR MORE STORIES ABOVE GRADE PLANE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1)

VA
YES

ALLOWABLE NUMBER OF FLOORS:
ALLOWABLE BUILDING AREA:
ALLOWABLE HEIGHT
FIRE RESISTANCE RATING OF EXTERIOR WALLS, SHAFTS, BEARING WALLS
AND FLOOR/CEILING ASSEMBLY, PARAPETS:

4
36,000 S.F.
60' (IF BUILDING SPRINKLERED)
1HR

REQUIRED SEPARATION OF OCCUPANCIES

PER CBC TABLE 508.4, THE REQUIRED SEPARATION OF BUILDING OCCUPANCIES (B, R-2, S-2) IS ONE HOUR BETWEEN EACH OCCUPANCY

PROJECT DESCRIPTION

THIS IS A NEW 4-STORY MIXED-USE BUILDING WITH ONE STORY OF SUBTERRANEAN PARKING. THE GROUND FLOOR LEVEL WILL BE A BUSINESS OCCUPANCY, AND THE THREE UPPER FLOORS WILL HAVE 18 RENTAL RESIDENTIAL UNITS (THREE JUNIOR ONE BEDROOMS AND 15 ONE BEDROOMS). SCOPE OF WORK SHALL INCLUDE THE CONSTRUCTION OF THE BUILDING SHELL AND CORE AS WELL AS SITE IMPROVEMENTS SUCH AS SIDEWALKS, CURB/GUTTER, BICYCLE RACKS, ETC.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE (CCR TITLE 24, PART 2)
2019 CALIFORNIA ELECTRIC CODE (CCR TITLE 24, PART 3)
2019 CALIFORNIA MECHANICAL CODE (CCR TITLE 24, PART 4)
2019 CALIFORNIA PLUMBING CODE (CCR TITLE 24, PART 5)
2019 CALIFORNIA ENERGY CODE (CCR TITLE 24, PART 6)
2019 CALIFORNIA FIRE CODE (CCR TITLE 24, PART 9)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CCR TITLE 24, PART 11)

ALL CODES ARE SUBJECT TO LOCAL GOVERNMENT AMENDMENTS PER CALIFORNIA BUILDING STANDARDS COMMISSION BULLETIN 10-03.

PROJECT TEAM

OWNER: ONE HAYWARD AVENUE LLC.
702 Marshall St. Ste 322
Redwood City, CA 94063

ARCHITECT: ARC TEC INC.
1731 Technology Drive, Suite 750
San Jose, CA 95110
PHONE: 408.496.0676
CONTACT: Douglas Oliver
EMAIL: doliver@arctecinc.com

LANDSCAPE ARCHITECT: JETT LANDSCAPE AND ARCHITECTURE
2 Theatre Square Ste 218
Orinda, CA 94563
PHONE: 925.254.5422
CONTACT: Bruce Jett
EMAIL: brucej@jett.land

CIVIL ENGINEER: BKF ENIGEERS
150 California Street, Suite 600
San Francisco, CA 94111
PHONE: 415.660.6360
CONTACT: Mike O'Connell
EMAIL: moconnell@bkf.com

TRASH MANAGEMENT: AMERICAN TRASH
1900 Powell Street, Suite 890
Emeryville, CA 94608
PHONE: 800.488.7274
CONTACT: Scott Brown
EMAIL: sbrown@trashmanage.com

PLUMBING FIXTURE TABULATIONS

GROUP B BUSINESS NET AREA: 4,397 S.F.*
* NET AREA IS FLOOR AREA LESS ACCESSORY AREAS (HALLWAYS, STAIRWAYS, STORAGE ROOMS, COPY ROOMS AND RESTROOMS)

4,397 S.F. / 200 S.F. PER PERSON = 22 PERSONS: 11 MEN / 11 WOMEN
SINCE OCCUPANT LOAD IS LESS THAN 50, THE REQUIRED URINAL CAN BE OMITTED.

MEN'S FIXTURES	REQUIRED:	PROVIDED:	WOMEN'S FIXTURES	REQUIRED:	PROVIDED:
WATER CLOSETS:	1	1	WATER CLOSETS	1	1
URINALS:	0	0	LAVATORIES:	1	1
LAVATORIES:	1	1			
DRINKING FOUNTAINS	REQUIRED:	PROVIDED:	MOP/SERVICE SINK	REQUIRED:	PROVIDED:
	1	1		1	1

PLEASE NOTE: OFFICE RESTROOMS SHOWN FOR REFERENCE ONLY. LOCATION WILL DEPEND ON FUTURE TENANT.

DRAWING INDEX AND ISSUE DATES

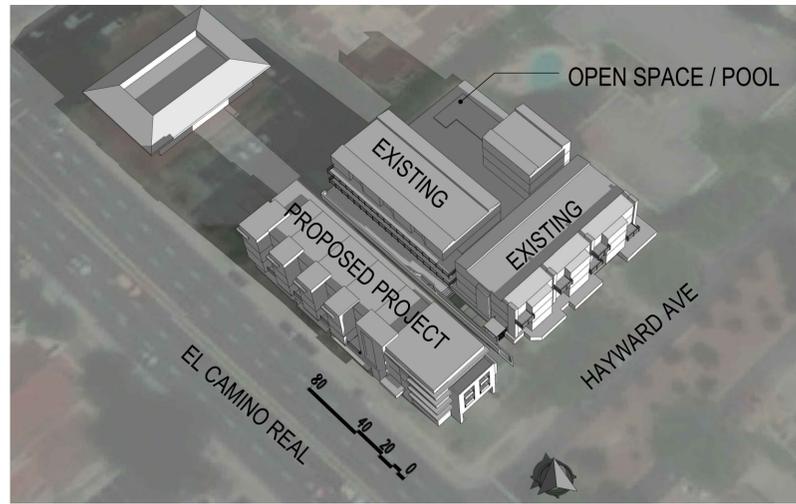
- PRELIMINARY OR PRICING PLANS
- FIRST FORMAL SUBMITTAL OR NO CHANGES SINCE PREVIOUS ISSUE
- + MODIFICATIONS SINCE PREVIOUS ISSUE

COVER SHEET ARCHITECTURAL

	10.03.2019 PLANNING APP.	02.28.2021 SUBMITTAL I	05.19.2023 RESUBMITTAL II	08.20.2020 RESUBMITTAL III	02.10.2021 RESUBMITTAL IV	07.22.2021 RESUBMITTAL V	ISSUE DATES AND DESCRIPTIONS
A0.01 PROJECT RENDERINGS	●	●	●	●	●	●	
A0.10 SHADOW STUDY	●	●	●	●	●	●	
A0.11 NEIGHBORHOOD CONTEXT	●	●	●	●	●	●	
A0.21 GROSS FLOOR AREA CALCULATIONS	●	●	●	●	●	●	
A0.22 FLOOR AREA CALCULATIONS	●	●	●	●	●	●	
A0.23 PARCEL COVERAGE	●	●	●	●	●	●	
A0.24 USABLE OPEN SPACE AREA PLANS	●	●	●	●	●	●	
A0.25 OCCUPANT EXITING PLANS	●	●	●	●	●	●	
A1.01 SITE PLAN	●	●	●	●	●	●	
A2.10 BELOW GRADE PARKING LEVEL PLAN	●	●	●	●	●	●	
A2.11 FIRST AND SECOND LEVEL PLANS	●	●	●	●	●	●	
A2.12 THIRD AND FOURTH LEVEL PLANS	●	●	●	●	●	●	
A2.31 ROOF PLAN	●	●	●	●	●	●	
A3.01 EXTERIOR ELEVATIONS	●	●	●	●	●	●	
A3.02 EXTERIOR ELEVATIONS	●	●	●	●	●	●	
A3.03 STREET CONTEXT ELEVATIONS	●	●	●	●	●	●	
A4.01 BUILDING SECTIONS	●	●	●	●	●	●	
L0.01 COVER SHEET	●	●	●	●	●	●	
L1.01 LANDSCAPE CONSTRUCTION PLAN	●	●	●	●	●	●	
L2.01 DETAILS AND IMAGES	●	●	●	●	●	●	
L3.01 PLANTING PLAN	●	●	●	●	●	●	
L4.01 PHOTOMETRIC PLAN	●	●	●	●	●	●	
SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY	●	●	●	●	●	●	
C1.01 NOTES LEGENDS & ABBREVIATIONS	●	●	●	●	●	●	
C2.01 EXISTING CONDITIONS	●	●	●	●	●	●	
C3.01 PRELIMINARY SITE PLAN	●	●	●	●	●	●	
C3.02 DRIVEWAY SIGHT TRIANGLE	●	●	●	●	●	●	
C4.01 PRELIMINARY GRADING PLAN	●	●	●	●	●	●	
C5.01 PRELIMINARY UTILITY PLAN	●	●	●	●	●	●	
C6.01 PRELIMINARY STORMWATER CONTROL PLAN	●	●	●	●	●	●	
C7.01 PRELIMINARY EROSION CONTROL PLAN	●	●	●	●	●	●	
C7.02 EROSION CONTROL NOTES AND DETAILS	●	●	●	●	●	●	
C7.03 SAN MATEO COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES	●	●	●	●	●	●	
C8.01 DETAILS	●	●	●	●	●	●	

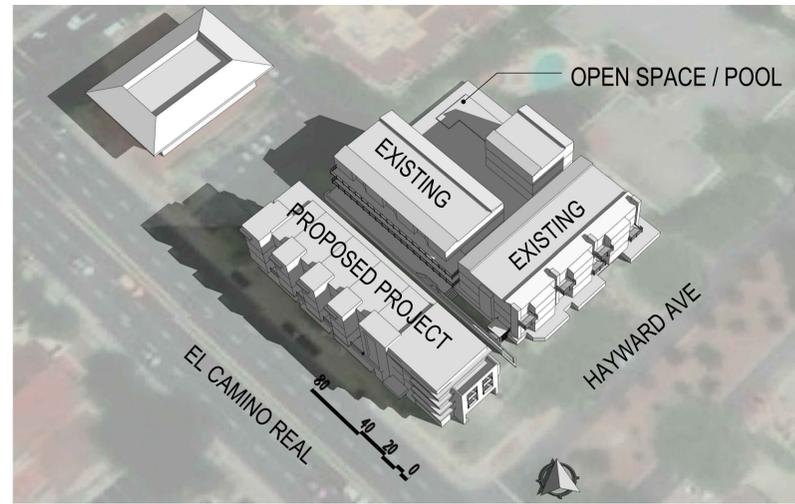
VICINITY MAP





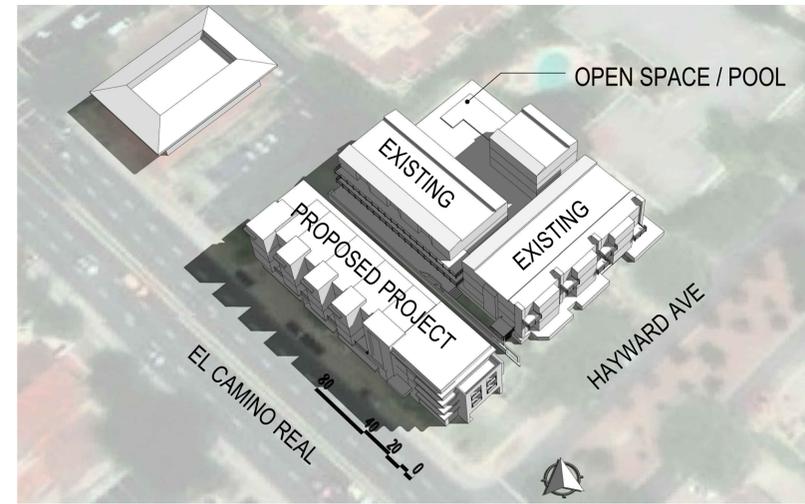
WINTER SOLSTICE, DECEMBER 21, 9A

SCALE: NTS



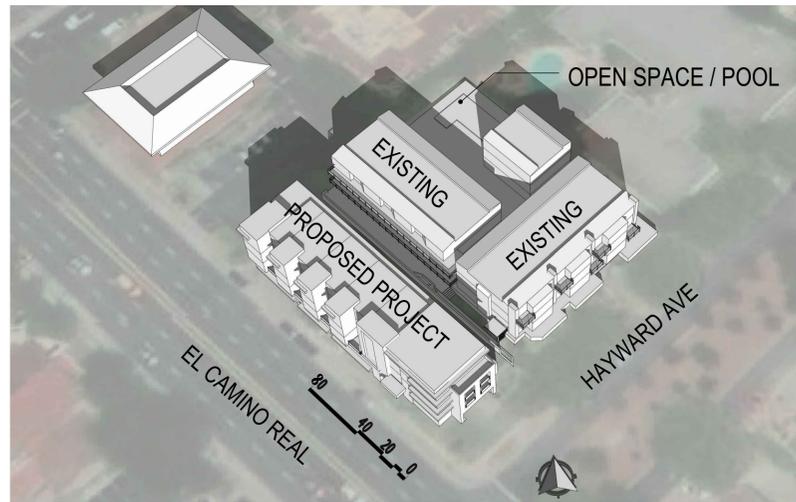
FALL EQUINOX, SEPTEMBER 21, 9A

SCALE: NTS



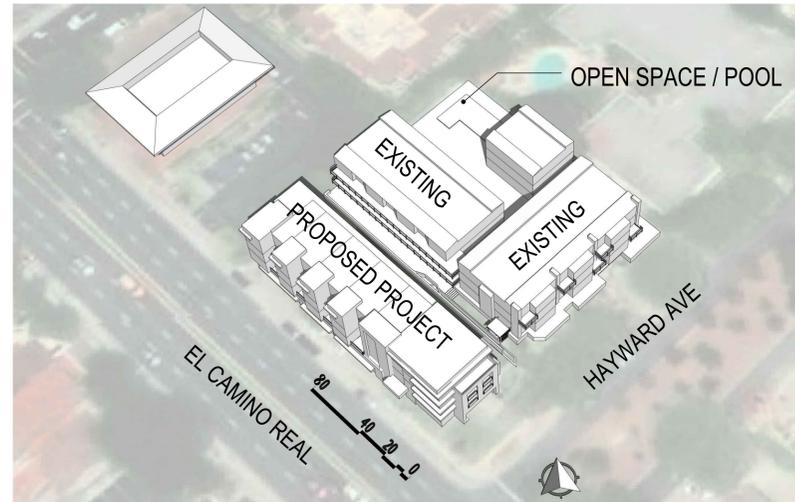
SUMMER SOLSTICE, JUNE 21, 9A

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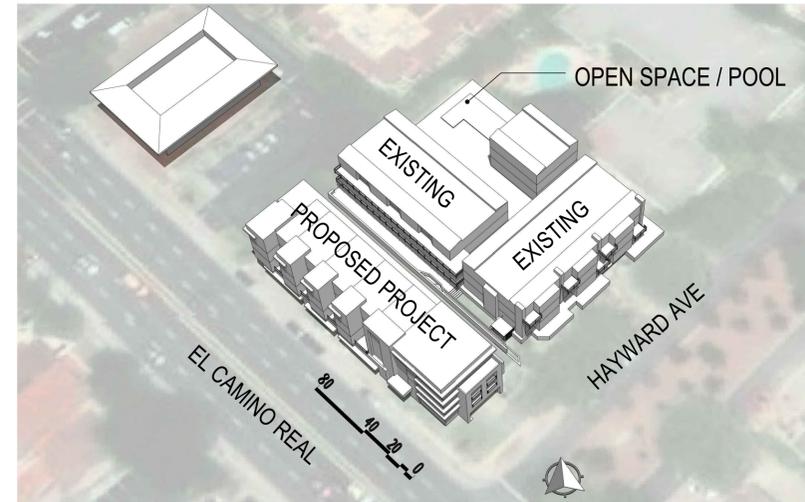
WINTER SOLSTICE, DECEMBER 21, NOON

SCALE: NTS



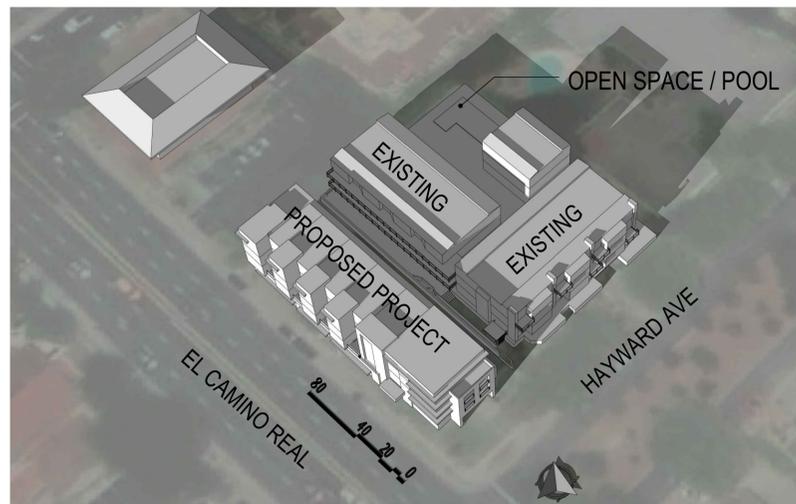
FALL EQUINOX, SEPTEMBER 21, NOON

SCALE: NTS



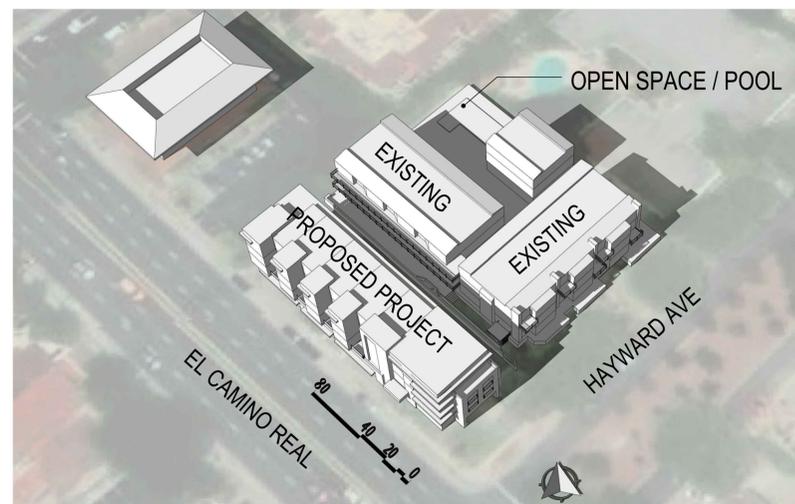
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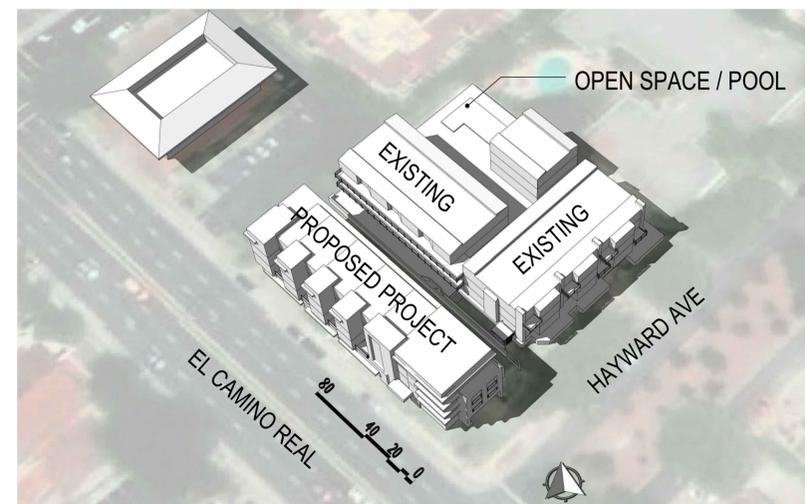
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SCALE: NTS



FALL EQUINOX, SEPTEMBER 21, 3P

SCALE: NTS



SUMMER SOLSTICE, JUNE 21, 3P

SCALE: NTS



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08.20.2020	PLANNING RESUBMITTAL III
01.29.2021	PLANNING RESUBMITTAL IV
07.22.2021	PLANNING RESUBMITTAL V

SHADOW STUDY

A0.10

PROJECT NO: 184688



AERIAL VIEW OF REAR COURTYARD LOOKING NW 3
SCALE: NTS



KEY MAP 1
SCALE: NTS



VIEW FROM HAYWARD AVENUE LOOKING NORTH 4
SCALE: NTS



VIEW FROM INTERSECTION LOOKING NW 2
SCALE: NTS



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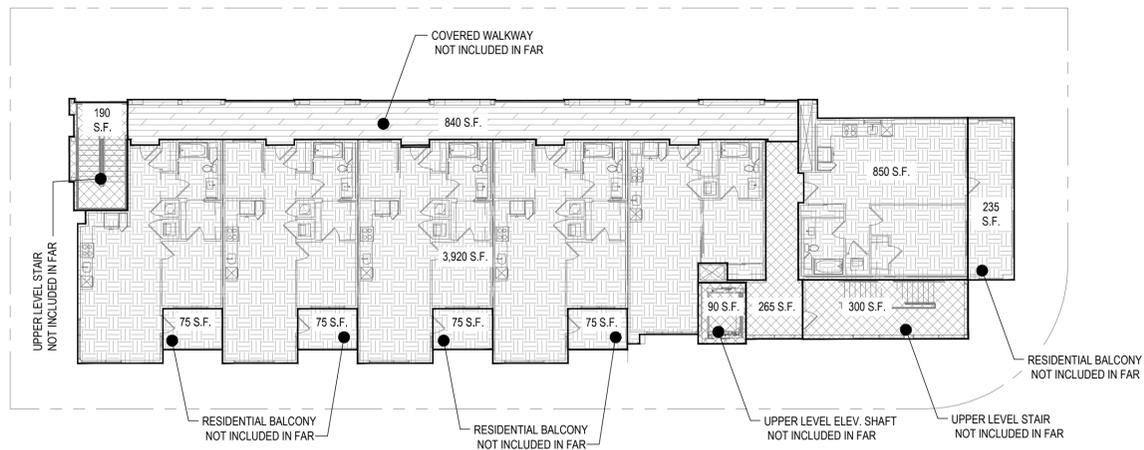
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PROJECT RENDERINGS

A0.01

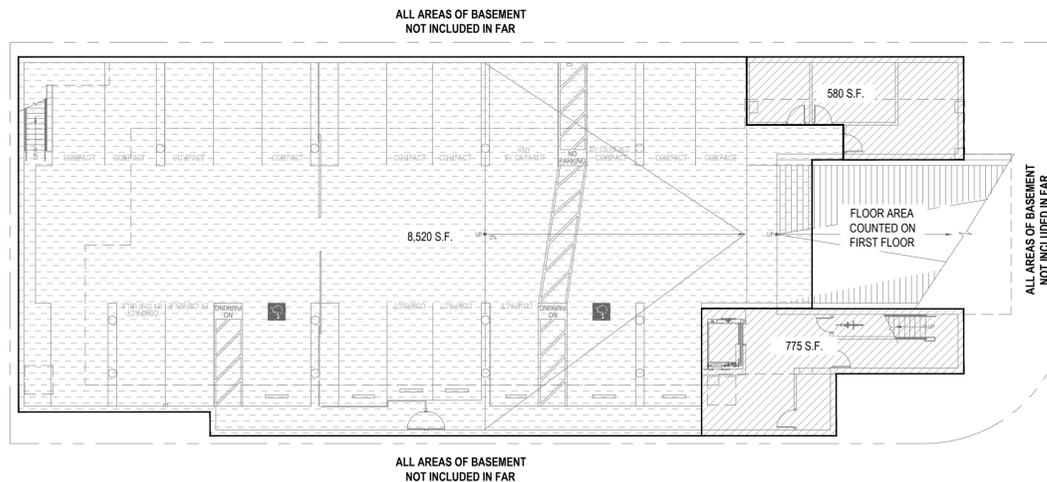
PROJECT NO: 184688

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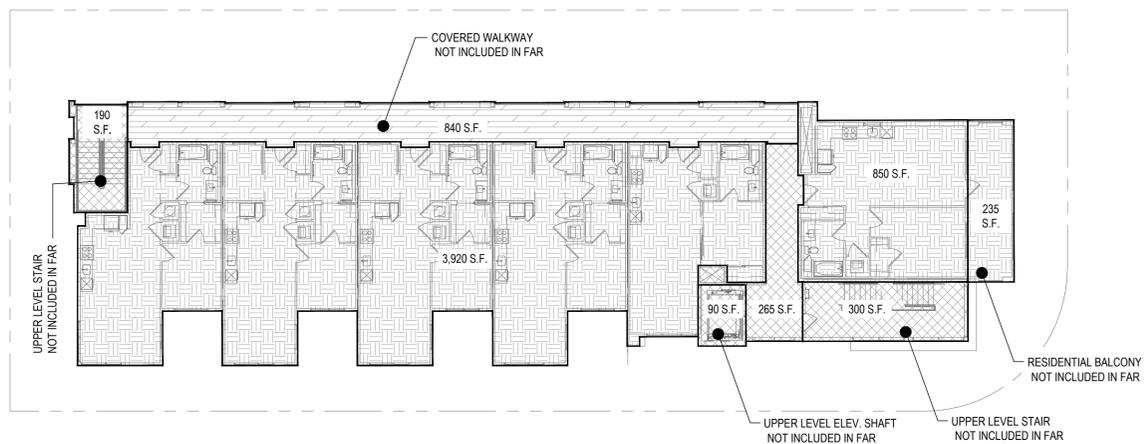
SECOND FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



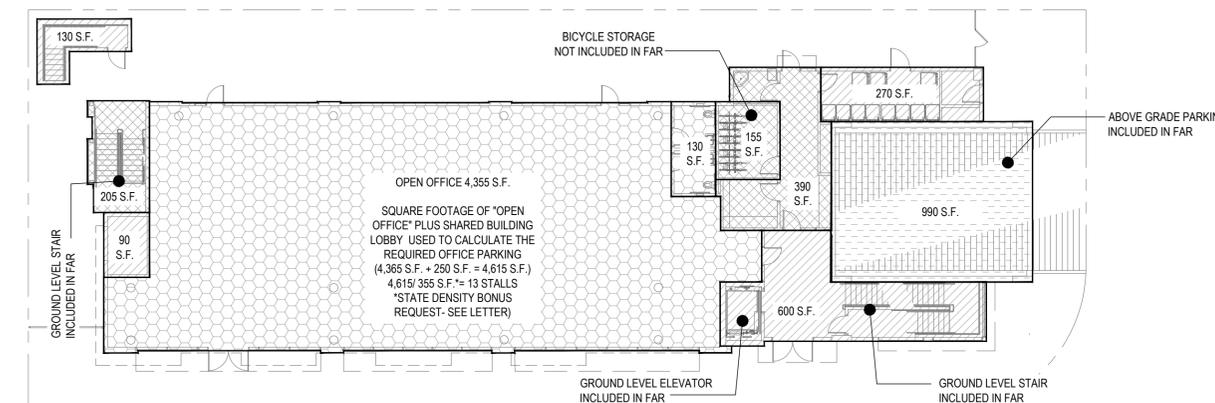
BELOW GRADE PARKING LEVEL AREA PLAN

SCALE: 1/16" = 1'-0"



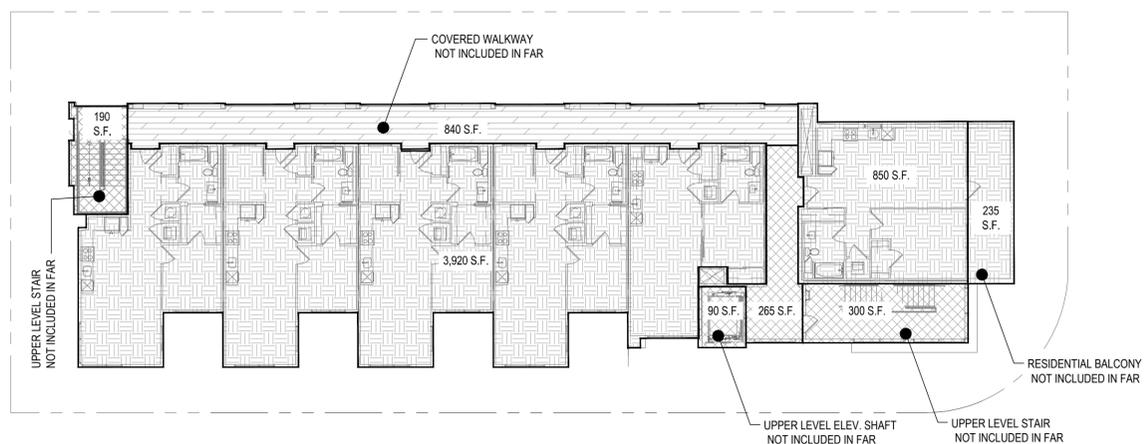
THIRD FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



FIRST FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH FLOOR AREA PLAN

SCALE: 1/16" = 1'-0"



TOTAL GROSS BUILDING AREA:

	OFFICE	RESIDENTIAL	OFF/RES. SHARED	RES SHARED	COVERED WALK	PARKING	TOTAL
BASEMENT LEVEL	0 S.F.	0 S.F.	1,355 S.F.	0 S.F.	0 S.F.	8,520 S.F.	9,875 S.F.
FIRST LEVEL	4,495 S.F.	0 S.F.	870 S.F.	750 S.F.	0 S.F.	990 S.F.	7,105 S.F.
SECOND LEVEL	0 S.F.	5,305 S.F.	0 S.F.	845 S.F.	840 S.F.	0 S.F.	6,990 S.F.
THIRD LEVEL	0 S.F.	5,005 S.F.	0 S.F.	845 S.F.	840 S.F.	0 S.F.	6,690 S.F.
FOURTH LEVEL	0 S.F.	5,005 S.F.	0 S.F.	845 S.F.	840 S.F.	0 S.F.	6,690 S.F.
TOTAL	4,495 S.F.	15,315 S.F.	2,225 S.F.	3,285 S.F.	2,520 S.F.	9,510 S.F.	37,350 S.F.

TOTAL GROSS BUILDING AREA = 37,350 S.F.
SEE A0.22 FOR AREAS INCLUDED IN FAR

	OFFICE
	RESIDENTIAL
	OFFICE / RESIDENTIAL SHARED
	RESIDENTIAL SHARED
	COVERED WALKWAY
	PARKING

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GROSS FLOOR AREA
CALCULATIONS

A0.21

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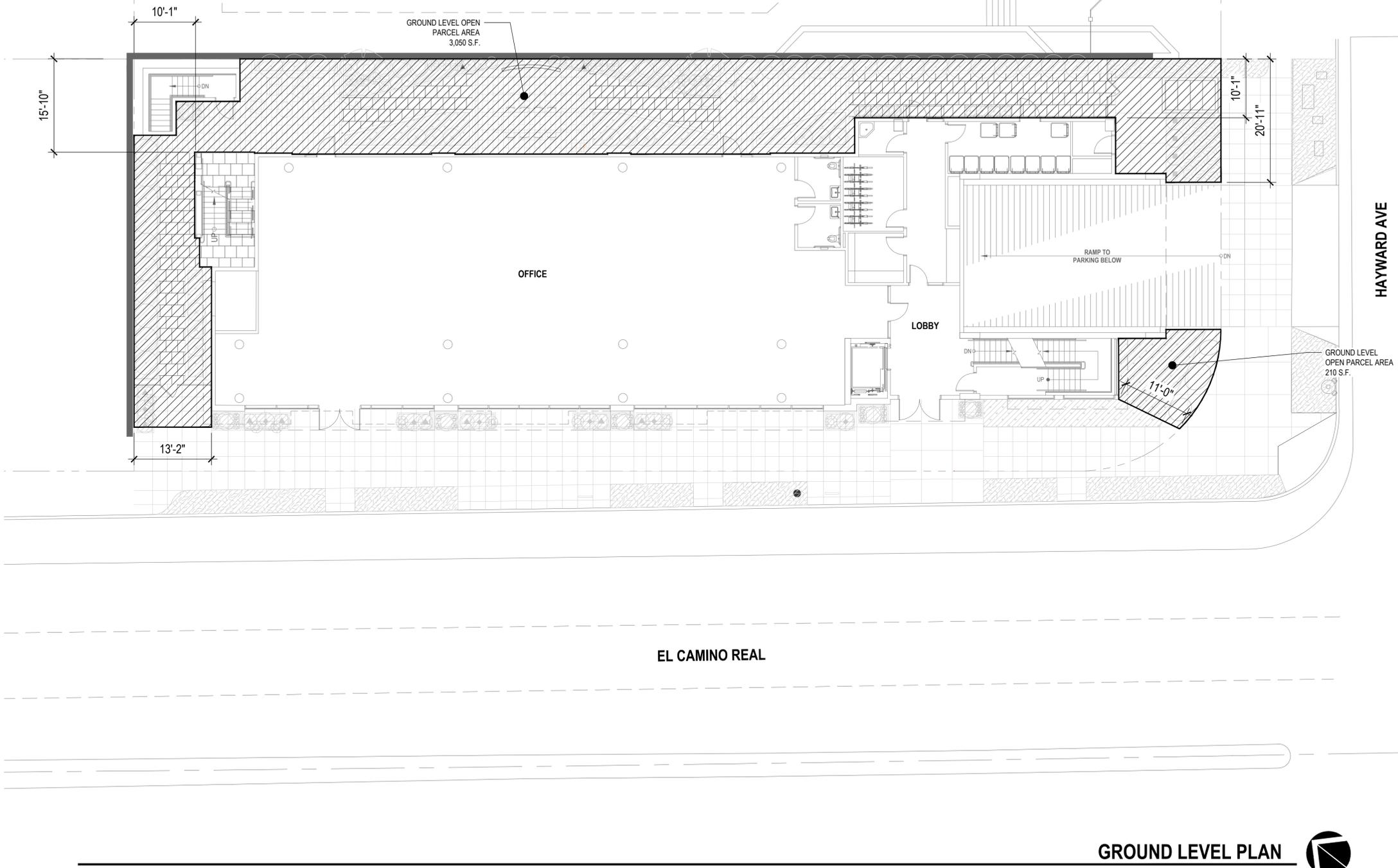
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In Association with:

PARCEL COVERAGE

PER SIMMC 27.48.065 PARCEL COVERAGE
 A MINIMUM OF 20 PERCENT AT-GRADE OPEN SPACE SHALL BE PROVIDED ON THE PARCEL, EXCEPT IN THE /R
 OVERLAY DISTRICT WHERE 10% MINIMUM AT-GRADE OPEN SPACE IS REQUIRED. OPEN SPACE SHALL CONTAIN
 LANDSCAPING AND/OR DECORATIVE OUTDOOR LANDSCAPE ELEMENTS, WATER FEATURES, PAVED OR DECORATED
 SURFACES OF ROCK, STONE, BRICK OR OTHER SIMILAR MATERIAL (EXCLUDING DRIVEWAYS, PARKING, LOADING, OR
 STORAGE AREAS), AND SCULPTURAL ELEMENTS

REQUIRED 20% SITE AREA (12,820 S.F. X .2) = 2,564 S.F.
 PROVIDED: 3,260 S.F.



GROUND LEVEL PLAN



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PARCEL COVERAGE

A0.23

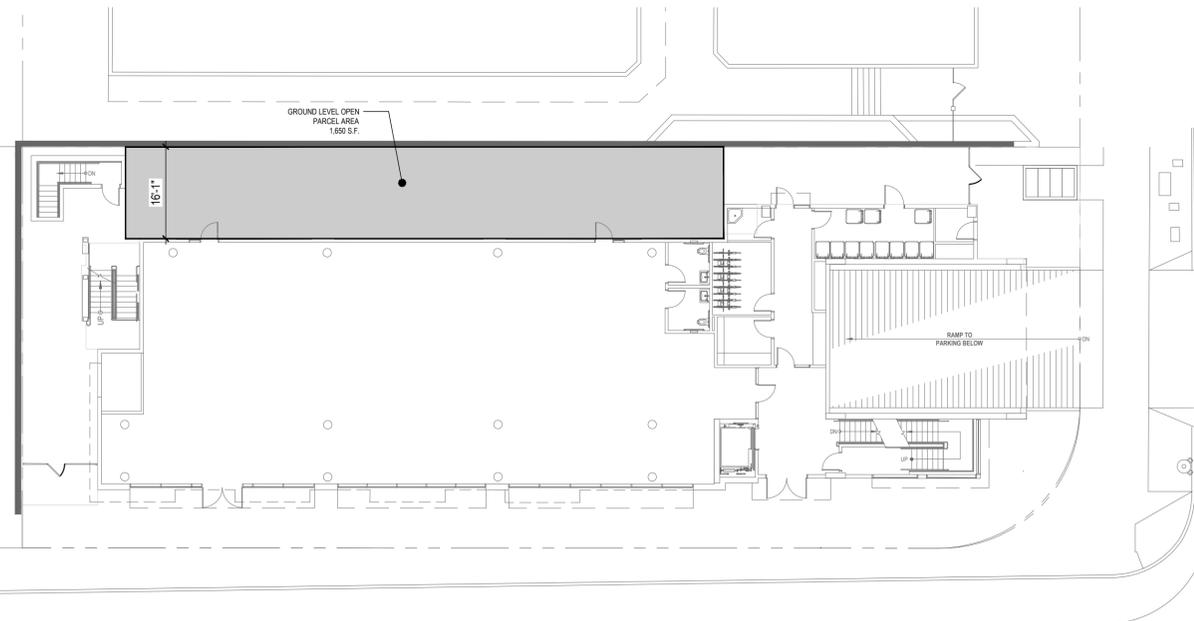
PROJECT NO: 184688

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THIRD FLOOR OPEN SPACE AREA PLAN

SCALE: 1/16" = 1'-0"



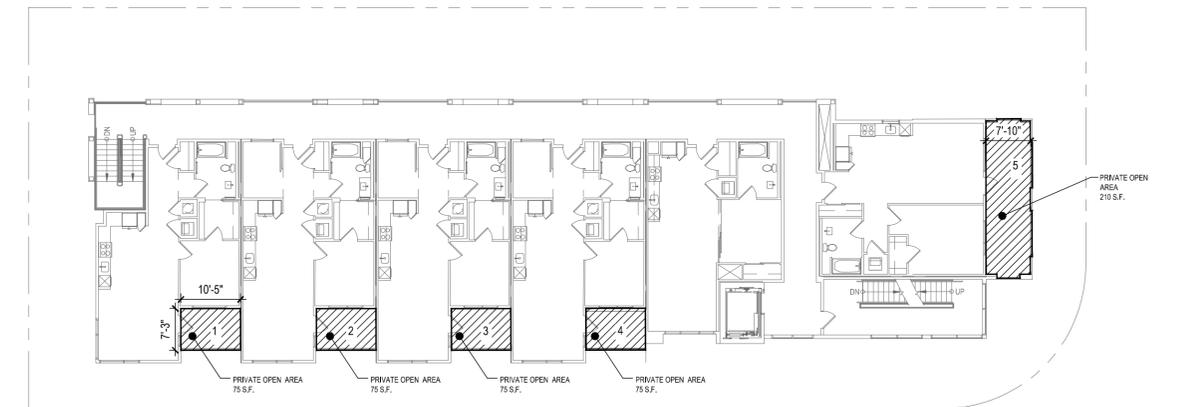
SITE / FIRST FLOOR OPEN SPACE AREA PLAN

SCALE: 1/16" = 1'-0"



FOURTH FLOOR OPEN SPACE AREA PLAN

SCALE: 1/16" = 1'-0"



SECOND FLOOR OPEN SPACE AREA PLAN

SCALE: 1/16" = 1'-0"

USABLE OPEN SPACE CALCULATIONS

PER SMMC 27.29.114 USEABLE OPEN SPACE REQUIREMENTS
 (a) THE OPEN SPACE REQUIREMENTS OF THIS DISTRICT ARE IN ADDITION TO OPEN SPACE REQUIREMENTS RESULTING FROM THE APPROVAL AND FILING OF A SUBDIVISION MAP, OR OPEN SPACE AS IMPOSED ON A PLANNED DEVELOPMENT IN ACCORD WITH THE CITY'S GENERAL PLAN OR ANY REQUIRED OFF-STREET PARKING AREAS OR DRIVEWAYS. OPEN SPACE REQUIRED BY THIS SECTION IS INTENDED TO BE FOR THE USE AND ENJOYMENT OF THE RESIDENTS OF THE DEVELOPMENT.
 (b) EACH DWELLING UNIT SHALL BE PROVIDED WITH THE FOLLOWING:
 (1) NOT LESS THAN EIGHTY (80) SQUARE FEET PER DWELLING UNIT OF PRIVATE USABLE OPEN SPACE DIRECTLY ACCESSIBLE TO EACH UNIT PROVIDED THAT NO SINGLE CREDITABLE PRIVATE USABLE OPEN SPACE SHALL BE LESS THAN SEVENTY-FIVE (75) SQUARE FEET OR HAVE A DIMENSION OF AT LEAST SIX (6) FEET IN EACH DIRECTION, OR
 (2) 150 PERCENT OF THE PRIVATE USABLE OPEN SPACE REQUIREMENT IN COMMON USABLE OPEN SPACES PROVIDED THAT NO CREDITABLE COMMON USABLE OPEN SPACE SHALL BE LESS THAN 300 SQUARE FEET WITH A DIMENSION NOT LESS THAN FIFTEEN (15) FEET IN EACH DIRECTION, OR
 (3) A PROPORTIONAL COMBINATION OF BOTH OF THE ABOVE.

REQUIRED OPEN SPACE: 18 UNITS X 80 S.F. = 1,440 S.F.

7 RESIDENTIAL UNITS HAVE PRIVATE OPEN SPACE MEETING THE ABOVE REQUIREMENTS:
 PROVIDED PRIVATE OPEN SPACE (BALCONIES 1-7): 900 S.F.

11 UNITS REQUIRE COMMON OPEN SPACE (11 X (80 S.F. X 1.5))= 1,320 S.F.
 PROVIDED COMMON OPEN SPACE (GROUND FLOOR)= 1,650 S.F.

TOTAL REQUIRED OPEN SPACE MEET THROUGH COMBINATION OF PRIVATE AND COMMON OPEN SPACE.
 TOTAL PROVIDED OPEN SPACE PRIVATE + COMMON = 2,550 S.F.

OPEN SPACE LEGEND

- PRIVATE OPEN SPACE
- COMMON OPEN



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In Association with:

A Planning Application for:
ONE HAYWARD
 1 HAYWARD AVENUE
 SAN MATEO, CA 94402

DATE	DESCRIPTION
10.03.2019	PLANNING SUBMITTAL
02.10.2020	PLANNING RESUBMITTAL I
06.12.2020	PLANNING RESUBMITTAL II
08.20.2020	PLANNING RESUBMITTAL III
02.10.2021	PLANNING RESUBMITTAL IV
07.22.2021	PLANNING RESUBMITTAL V

USABLE OPEN SPACE
 AREA PLANS

A0.24

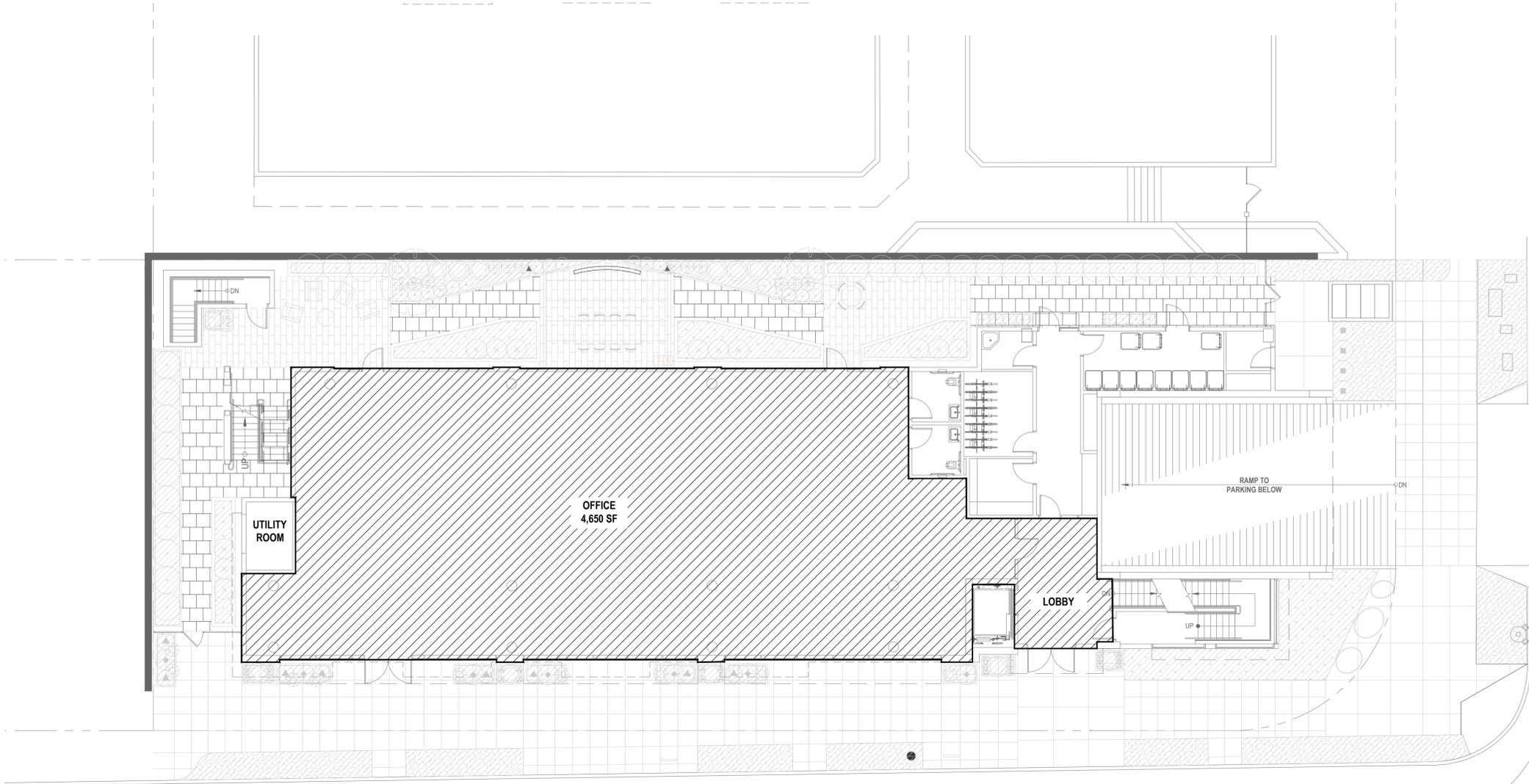
PROJECT NO: 184688

FLOOR AREA, PARKING CALCULATION

- PER SMMC 27.04.200 FLOOR AREA
- (d) OFF-STREET PARKING AND LOADING. FLOOR AREA FOR DETERMINING OFF-STREET PARKING AND LOADING REQUIREMENTS AS CONTAINED IN CHAPTER 27.64, SHALL BE BASED ON PHYSICAL FLOOR SPACE AND SHALL NOT INCLUDE THE FOLLOWING:
- (1) STORAGE AREAS EXCEPT FOR AREAS LOCATED WITHIN SELLING OR WORKING SPACE SUCH AS COUNTERS, RACKS, AND CLOSETS;
 - (2) UTILITY AREAS INCLUDING, BUT NOT LIMITED TO, ELEVATOR SHAFTS, TELEPHONE SWITCHING ROOMS, STAIRWELLS, REST ROOMS, AND HEATING AND COOLING ROOMS;
 - (3) ACCESSORY FACILITIES TO BE USED ONLY BY EMPLOYEES OF THE PRINCIPAL USES;
 - (4) OFF-STREET PARKING AND LOADING FACILITIES, INCLUDING AISLES, RAMPS, AND MANEUVERING SPACE;
 - (5) BASEMENT, ATTIC, OR MEZZANINE FLOOR AREA OTHER THAN AREA DEVOTED TO RETAILING ACTIVITIES, TO THE PRODUCTION OF PROCESSING OF GOODS, OR TO BUSINESS OR PROFESSIONAL OFFICES;
 - (6) FLOOR AREA DESIGNATED FOR DAY CARE CENTERS ACCESSORY TO AND INTENDED TO SERVE A MULTI-FAMILY, COMMERCIAL, OFFICE OR MANUFACTURING USE. SUCH FLOOR AREA MAY BE LOCATED WITHIN THE PRIMARY STRUCTURE OR MAY BE IN A FREESTANDING STRUCTURE ACCESSORY TO THE PRIMARY STRUCTURE;
 - (7) FLOOR AREA COMPUTED FOR BUILDING VOLUME. ADDITIONAL PARKING SHALL BE REQUIRED IN THE EVENT OF CHANGE OF EXCLUDED FLOOR AREAS INTO USES GENERATING PARKING.
- (e) INTERPRETATION. ALL INTERPRETATIONS OF FLOOR AREA SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE ZONING ADMINISTRATOR.
- (f) NO CHANGE IN THE DEFINITION OR CALCULATION OF FLOOR AREA, EXCEPT TO THE EXTENT THAT THE CITY COUNCIL EXPRESSLY STATES THAT THE CHANGE ALLOWS GREATER FLOOR AREA, SHALL BE CONSTRUED TO AUTHORIZE AN EXPANSION OF THE ALLOWABLE FLOOR AREA OF A BUILDING OR STRUCTURE, WHETHER PURSUANT TO CHAPTER 27.72 OR OTHERWISE

PER SMMC 27.64.160 PARKING SCHEDULES GENERALLY
OFFICE REQUIRED PARKING:
1 STALL PER 335 S.F. (4,650 S.F. X 335) = 13.88 STALLS
PROVIDED: 13 STALLS*
*STATE DENSITY BONUS WAIVER REQUESTED TO REDUCED REQUIRED PARKING RATIO TO 1 STALL PER 360 S.F. SEE STATE DENSITY BONUS LETTER.

HAYWARD AVE



EL CAMINO REAL

GROUND LEVEL PLAN



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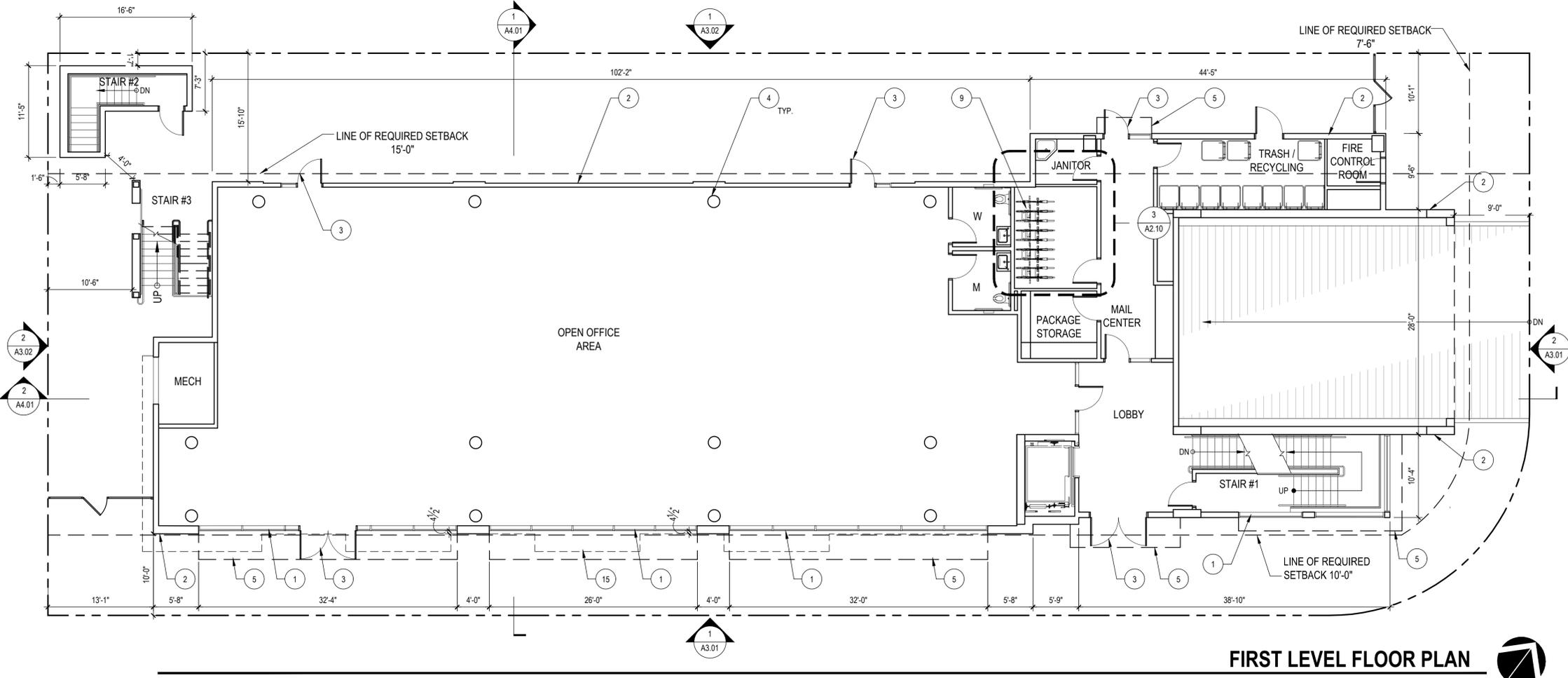
A Planning Application for:
ONE HAYWARD
1 HAYWARD AVENUE
SAN MATEO, CA 94402

DATE	DESCRIPTION
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02.10.2021	PLANNING RESUBMITTAL IV
07.22.2021	PLANNING RESUBMITTAL V

PARKING CALCULATIONS

A0.26
PROJECT NO: 184688

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KEYNOTES

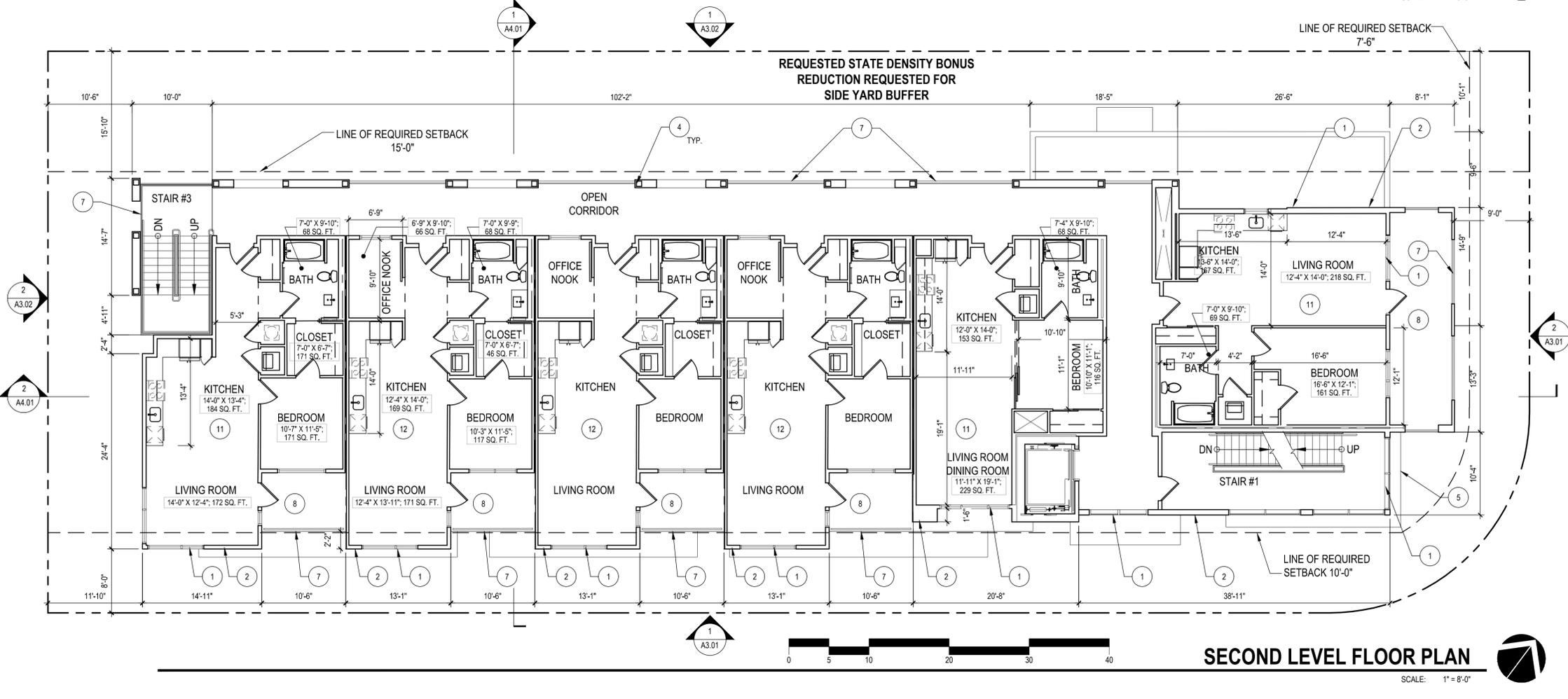
NOTE: NOT ALL KEYNOTES LISTED MAY APPLY TO THIS DRAWING.

- 1 EXTERIOR GLAZING SYSTEM; REFER TO EXTERIOR ELEVATIONS FOR SPECIFICATION
- 2 EXTERIOR WALL; REFER TO EXTERIOR ELEVATIONS FOR MATERIAL SPECIFICATION
- 3 ENTRY/EXIT DOOR
- 4 STRUCTURAL COLUMN
- 5 CANOPY, ABOVE SHOWN DASHED, BELOW SHOWN SOLID
- 6 NOT USED
- 7 EDGE OF BALCONY/EXTERIOR CORRIDOR WITH 42" HIGH GUARDRAIL. REFER TO EXTERIOR ELEVATIONS FOR GUARDRAIL SPECIFICATION
- 8 PRIVATE RESIDENTIAL EXTERIOR BALCONY
- 9 LONG-TERM RESIDENTIAL BIKE PARKING - FLOOR MOUNTED DERO DUPLEX BICYCLE RACKS; SEE 6/A2.10 FOR ADDITIONAL INFORMATION
- 10 NOT USED
- 11 ONE BEDROOM UNIT
- 12 ONE BEDROOM + OFFICE UNIT
- 13 NOT USED
- 14 NOT USED
- 15 LINE OF BUILDING FACE ABOVE SHOWN DASHED

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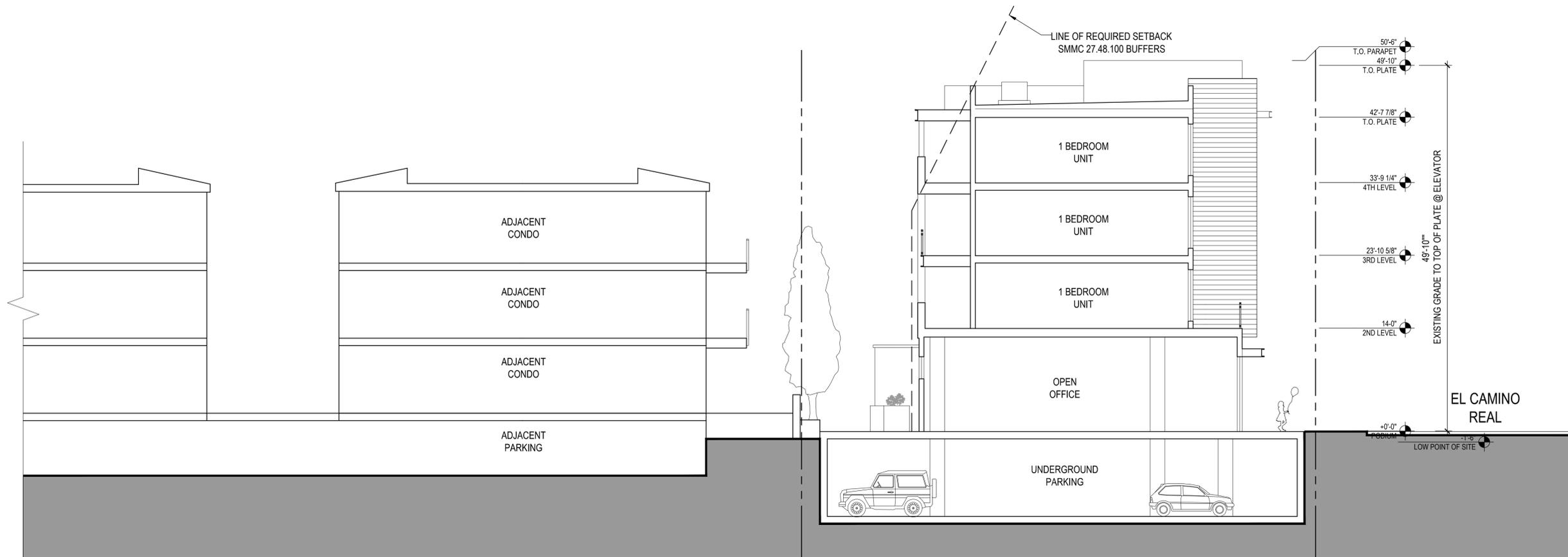
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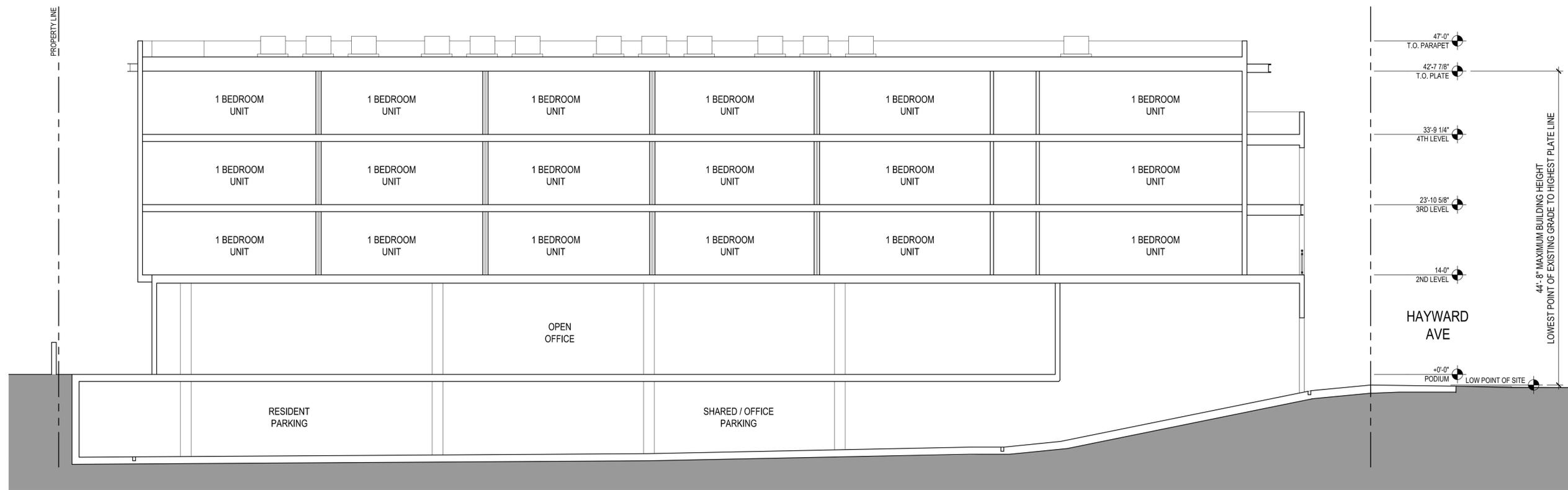
A Planning Application for:
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07.22.2021	PLANNING RESUBMITTAL V

FIRST AND SECOND LEVEL
PLANS



BUILDING SECTION 1
SCALE: 1/8" = 1'-0"



BUILDING SECTION 2
SCALE: 1/8" = 1'-0"



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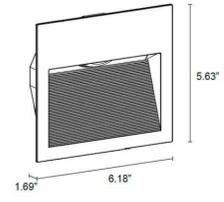
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BUILDING SECTIONS

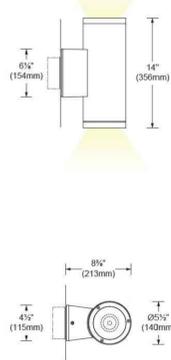
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PROJECT NO: 184688

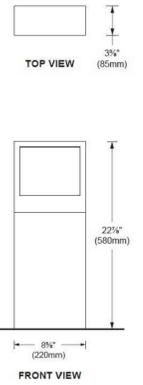
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14 RECESSED WALL LIGHT
SCALE: NTS



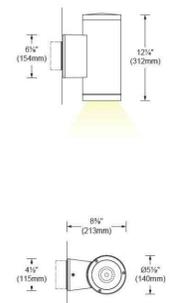
15 SCONCE
SCALE: NTS



16 BOLLARD
SCALE: NTS



17 PENDANT
SCALE: NTS



18 CEILING MOUNT
SCALE: NTS



10 PRECAST PLANTER
SCALE: NTS



11 WATER WALL & WIRE PERGOLA
SCALE: NTS



12 METAL PLANTER
SCALE: NTS



13 CMU PLANTER
SCALE: NTS



6 SOMA STONE SEATING
SCALE: NTS



7 COMMUNITY TABLE & CHAIRS
SCALE: NTS



8 DINING TABLE & CHAIRS
SCALE: NTS



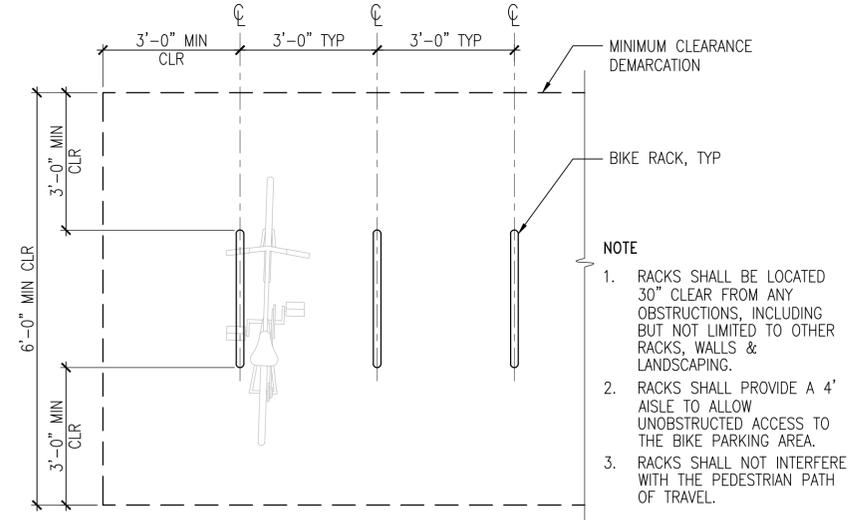
9 LOUNGE TABLE & CHAIRS
SCALE: NTS



1 CONCRETE PAVERS
SCALE: NTS



3 BIKE RACK
SCALE: NTS



4 BIKE RACKS
SCALE: 1/2" = 1'-0"



5 TRASH & RECYCLE RECEPTACLES
SCALE: NTS



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A Planning Application for:
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SAN MATEO, CA 94402

DATE	DESCRIPTION
10.03.2019	PLANNING SUB
02.10.2020	PLANNING RESUBM
06.12.2020	PLANNING RESUBM
08.20.2020	PLANNING RESUBM
01.29.2021	PLANNING RESUBM
07.22.2021	PLANNING RESUBMITTAL V

DETAILS & IMAGES

L2.01

PROJECT NO. 18

BASIS OF BEARINGS

THE BEARING, NORTH 48°38'00" EAST, OF HAYWARD AVENUE, AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 195 WHICH WAS FILED FOR RECORD IN BOOK 46 OF PARCEL MAPS PAGES 68-72, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON THE CITY OF SAN MATEO ELEVATION SYSTEM. BENCHMARK USED WAS THE RAMSET NAIL AND WASHER ON TOP OF CURB AT THE NORTHERLY INTERSECTION OF FRANKLIN AND PARROTT WITH AN ELEVATION OF 44.309 FEET - CITY BM #068-001

NOTES:

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. NCS-57870-SD, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

BOUNDARY SHOWN HEREON IS RESOLVED BASED UPON CURB SPLITS AROUND BLOCK. LOT FRONTAGES WERE HELD AS RECORD WIDTH FROM PALM AVENUE.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

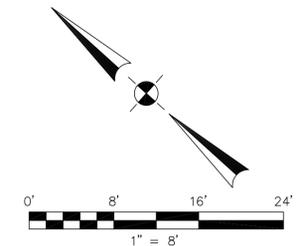
SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtlandsurveying.com

DATE OF FIELD SURVEY: MAY, 2015
JOB NUMBER: 15-080

REVISION - OCTOBER 7, 2019 - UPDATE TREE INFORMATION

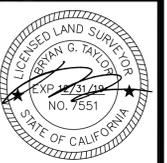
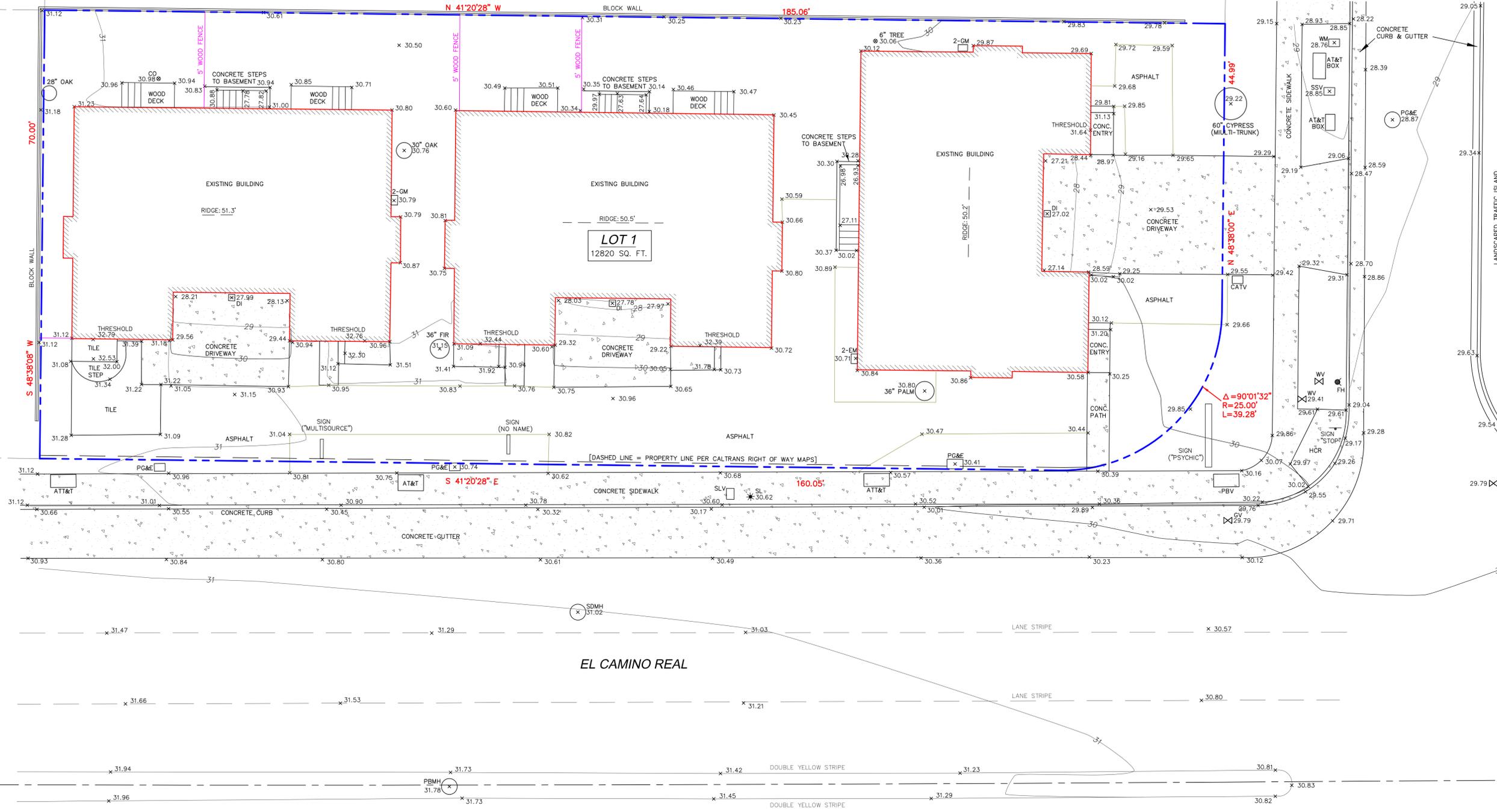
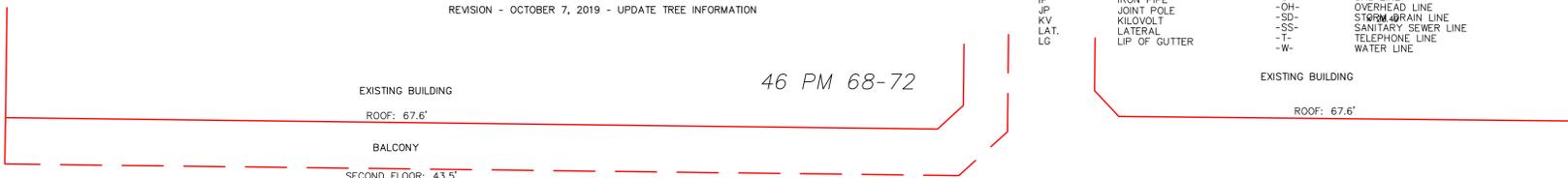
LEGEND

- AC ASPHALT CONCRETE
- CB BACK OF WALK
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CLEAN OUT BOX
- CO SURVEY CONTROL POINT
- CP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH (TYPE UNKNOWN) MONUMENT TO MONUMENT DISTANCE
- PACBELL/SBC VAULT
- PC&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLB STREET LIGHT BOX
- SLV STREET LIGHT VAULT
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TSB TRAFFIC SIGNAL BOX
- TSB TRAFFIC SIGNAL
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



LOT 17

MAP OF SUBDIVISION NO. 1
HAYWARD PARK
BOOK 4 MAPS 22
BLOCK A



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 1, BLOCK A, "MAP OF SUBDIVISION NO. 1 HAYWARD PARK" (BOOK 4 MAPS 22)
919-929 EL CAMINO REAL
SAN MATEO, CALIFORNIA

Assessor Parcel Number:
034-275-130

Prepared For:
NARSAI TALLO
702 MARSHALL STREET #322
REDWOOD CITY, CA 94063

Date: MAY 2015
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: LHL

Revisions:

SU-1

Job No. 15-080

A. GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING REQUIRED INSPECTIONS BY THE CITY ENGINEER OR HIS AUTHORIZED REPRESENTATIVES. NO DELAY OF WORK CLAIM WILL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO ARRANGE FOR CITY INSPECTION IN ADVANCE.
- ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE ENGINEER, WHO WILL OBTAIN APPROVAL FROM THE CITY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND CITY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
- CONTRACTOR SHALL COORDINATE HIS WORK, AND THAT OF HIS SUBCONTRACTORS, WITH ONGOING GRADING OR SITE WORK OF OTHER CONTRACTORS.
- STREET MONUMENTS, LOT CORNER PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS. NEW MONUMENTS SHALL BE SET IN ACCORDANCE WITH THE LAND SURVEYOR'S ACT AND A CORNER RECORD FILED WITH THE CITY AND THE COUNTY.
- EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL COMPLETE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET (5') OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE SHEATHING, SHORING AND BRACING IN CONFORMANCE WITH THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL COMPLY WITH OSHA REQUIREMENTS.
- DURING CONSTRUCTION, THE CITY STREETS SHALL BE CLEANED AS OFTEN AS REQUIRED TO REMOVE ACCUMULATION OF MUD AND DEBRIS RESULTING FROM THIS CONSTRUCTION.
- SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER, BKF ENGINEERS, AT (415) 930-7900 BEFORE PROCEEDING WITH THE WORK IN QUESTION.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE GEOTECHNICAL ENGINEERING REPORT. GRADING WORK SHALL ALSO BE SUBJECT TO THE APPROVAL OF THE GEOTECHNICAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR MATCHING EXISTING PAVEMENT, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALK, ETC. TO AVOID ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
- CONTRACTOR SHALL POST 24-HOUR EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, POLICE DEPARTMENT AND FIRE DEPARTMENT ON SITE PRIOR TO START OF CONSTRUCTION.
- NO WORK SHALL BE PERFORMED DURING HOURS OTHER THAN THE NORMAL WORKING HOURS OF THE CITY PUBLIC WORKS DEPARTMENT'S INSPECTION AND MAINTENANCE PERSONNEL WITHOUT THE APPROVAL OF THE CITY ENGINEER & WITHOUT FIRST OBTAINING A SPECIAL PERMIT FOR AFTER HOURS WORK FROM THE CITY ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYING ADDITIONAL FEES REQUIRED BY THE CITY FOR PERFORMING WORK BEYOND THE NORMAL WORKING HOURS. CONTRACTOR SHALL CONFORM TO REQUIREMENTS OF THE CITY NOISE ORDINANCE WHEN WORKING IN THE CITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE CARE AND PROTECTION OF ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS AND STREETS FROM DAMAGE BY HIS OPERATIONS. CONTRACTOR SHALL REPAIR, REPLACE OR CLEAN THE ABOVE MENTIONED TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE OWNER, OR THE ADJACENT PROPERTY OWNERS.
- EQUIP INTERNAL COMBUSTION ENGINE DRIVEN EQUIPMENT WITH INTAKE AND EXHAUST MUFFLERS THAT ARE IN GOOD CONDITION AND APPROPRIATE FOR THE EQUIPMENT.
- LOCATE STATIONARY NOISE GENERATING EQUIPMENT AS FAR AS POSSIBLE FROM SENSITIVE RECEPTORS.
- UTILIZE "QUIET" AIR COMPRESSORS AND OTHER STATIONARY NOISE SOURCES WHERE TECHNOLOGY EXISTS.
- WATER ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY AND MORE OFTEN DURING WINDY PERIODS; ACTIVE AREAS ADJACENT TO EXISTING SENSITIVE LAND USES SHALL BE KEPT DAMP, OR SHALL BE TREATED W/ NON-TOXIC STABILIZERS TO CONTROL DUST.
- COVER TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) PAVED ACCESS ROADS, PARKING AREAS, & STAGING AREAS AT CONSTRUCTION SITES; SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS.
- HYDROSEED OR APPLY (NON-TOXIC) SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).
- ENCLOSE, COVER, WATER TWICE DAILY OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.)
- LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MPH.
- INSTALL GRAVEL FILLED BAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.

24. REPLANT VEGETATION IN DISTURBED AREA AS QUICKLY AS POSSIBLE

25. THE CONSTRUCTION CONTRACTOR SHALL POST A SIGN AT ENTRANCES TO THE WORK SITE PRIOR TO COMMENCEMENT OF THE WORK INFORMING CONTRACTORS AND SUBCONTRACTORS, THEIR EMPLOYEES, AGENTS, MATERIAL MEN & OTHER PERSONS AT THE PROPERTY OF THE BASIC LIMITATIONS UPON NOISE AND CONSTRUCTION ACTIVITIES PROVIDED IN THE CITY'S MUNICIPAL CODE.

26. THE CONTRACTOR SHALL LOCATE EQUIPMENT STAGING IN AREAS THAT WILL CREATE THE GREATEST POSSIBLE DISTANCE BETWEEN CONSTRUCTION-RELATED NOISE SOURCES AND NOISE-SENSITIVE RECEPTORS NEAREST THE PROJECT SITE DURING PROJECT CONSTRUCTION.

27. IF PREVIOUSLY UNKNOWN CONTAMINATED SOIL AND/OR GROUNDWATER IS ENCOUNTERED DURING CONSTRUCTION ACTIVITIES, THE PROJECT APPLICANT SHALL ENSURE THAT ALL APPROPRIATE RESPONSE MEASURES ARE TAKEN TO PROTECT HUMAN HEALTH AND ENVIRONMENT: A CONTINGENCY PLAN FOR SAMPLING AND ANALYSIS OF PREVIOUSLY UNKNOWN HAZARDOUS SUBSTANCES SHALL BE PREPARED BY THE PROJECT APPLICANT, WITH THE APPROVAL OF THE CITY, PRIOR TO SITE GRADING AND EARTHWORK ACTIVITIES.

28. IN THE EVENT THAT SUSPECTED ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING THE SITE PREPARATION OR CONSTRUCTION, PROJECT DEVELOPMENT ACTIVITY SHALL CEASE IN THE IMMEDIATE VICINITY OF THE FIND. THE DISCOVERY SHALL BE EVALUATED BY AN ARCHAEOLOGIST, AND APPROPRIATE TREATMENT OPTIONS DEVELOPED.

29. IF PALEONTOLOGICAL RESOURCES ARE IDENTIFIED WITHIN THE PROJECT AREA DURING GROUND-DISTURBING ACTIVITIES, WORK WITHIN AT LEAST 25 FEET OF THE DISCOVERY SHALL BE HALTED AND A QUALIFIED PALEONTOLOGIST CONTACTED TO EVALUATE THE FINDS AND MAKE RECOMMENDATIONS.

B. EXISTING CONDITIONS

1. EXISTING GRADES ARE BASED ON A FIELD SURVEY BY BGT LAND SURVEYING. GRADES ENCOUNTERED ON SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND SPECIFICATIONS AND CONDUCT INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.

2. INFORMATION REGARDING EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WAS TAKEN FROM RECORD DATA KNOWN TO THE ENGINEER AND IS NOT MEANT TO BE A FULL CATALOG OF EXISTING CONDITIONS. CONTRACTOR SHALL CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY THE LOCATION AND ELEVATION OF EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, PRIOR TO THE COMMENCEMENT OF WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD AND INFORMATION SHOWN ON THESE PLANS.

3. ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES.

4. CONTRACTOR SHALL CONTACT USA (UNDERGROUND SERVICES ALERT) TOLL FREE AT 1-800-642-2444, AND AFFECTED UTILITY COMPANIES, A MINIMUM OF 2 WORKING DAYS PRIOR TO STARTING WORK TO NOTIFY THEM OF CONSTRUCTION AND REQUEST UTILITIES BE MARKED. POTHOLING BY THE CONTRACTOR OR UTILITY COMPANY SHALL BE PERFORMED WHERE NEEDED TO VERIFY LOCATION OF UTILITIES.

C. UTILITIES

1. ELECTRIC, GAS, TELEPHONE, CABLE, AND JOINT TRENCH WORK, SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDER. CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY PROVIDER AT LEAST TWO (2) WORKING DAYS PRIOR TO COMMENCING SUCH WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PUBLIC WORKS DEPARTMENT IF EXISTING WATER, SEWER, GAS MAINS, OR SERVICES ARE DISTURBED OR DAMAGED.

2. CONTRACTOR SHALL PROTECT UTILITIES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION.

3. UTILITY BOXES AND LIDS IN PAVED AREAS SHALL BE DESIGNED FOR H-20 LOADING.

4. THE PIPE LENGTHS SHOWN ARE FOR PURPOSES OF ENGINEERING CALCULATIONS AND ARE NOT INTENDED FOR BID QUANTITIES OR ORDERING OF MATERIALS.

5. EXISTING PG&E AND AT&T MANHOLES/VAULTS SHALL BE ADJUSTED TO GRADE BY THE UTILITY PROVIDER. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH THE APPROPRIATE UTILITY PROVIDER. ALL OTHER UTILITY BOXES SHALL BE ADJUSTED TO FINISH GRADE BY THE CONTRACTOR.

6. CONSTRUCTION OF GRAVITY FLOWING SYSTEMS SHALL PROCEED FROM THE DOWNSTREAM CONNECTION TO THE UPSTREAM TERMINUS.

7. THRUST RESTRAINT DEVICES SHALL BE PROVIDED AT BENDS GREATER THAN 10 DEGREES & AT ALL CROSSES, TEES, WYES, CAPS, PLUGS, VALVES, & HYDRANTS IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS AND DETAILS.

D. TRAFFIC CONTROL

1. CONTRACTOR SHALL USE STEEL PLATES TO COVER TRENCHES LEFT OPEN AT NIGHT OR DURING OFF WORK HOURS.

2. CONTRACTOR IS PROHIBITED FROM WORKING OR LEAVING TRENCHES OPEN PAST SUNSET.

3. CONTRACTOR SHALL COORDINATE CONSTRUCTION SCHEDULE AND DAILY LIMITS OF STORM DRAIN, SANITARY SEWER, AND WATER LINE UTILITY TRENCH WORK WITHIN PUBLIC STREETS WITH THE CITY PUBLIC WORKS DEPARTMENT. CONTRACTOR SHALL COORDINATE THE ABOVE WITH THE CITY FIRE DEPARTMENT, IF NECESSARY.

4. CONTRACTOR SHALL OBTAIN NECESSARY ENCROACHMENT PERMITS WITH CITY PUBLIC WORKS DEPARTMENT PRIOR TO CONSTRUCTION.

5. THE CONTRACTOR SHALL BE AWARE THAT IT MAY BECOME NECESSARY TO USE FLAGGERS TO CONTROL TRAFFIC, IF DEEMED NECESSARY BY THE CITY ENGINEER.

E. EARTHWORK AND GRADING

1. THE CONTRACTOR SHALL STRIP THE ENTIRE AREA OF VEGETATION PRIOR TO PERFORMING GRADING OPERATIONS IN THAT AREA. STRIPPED MATERIALS SHALL BE STOCKPILED FOR PLACEMENT AS TOPSOIL AFTER GRADING OPERATION IS COMPLETE. STRIPPING SHALL BE A MINIMUM OF 2-INCHES OR AS DETERMINED IN THE FIELD BY SOILS ENGINEER. PLACE TOPSOIL TO A MAXIMUM DEPTH OF 4-INCHES. FINISH GRADE SHALL INCLUDE PLACEMENT OF TOPSOIL AND SHALL CONFORM TO THE DESIGN GRADES SHOWN ON THE DRAWINGS. ANY AREA TO RECEIVE FILL SHALL BE SCARIFIED AT LEAST 8-INCHES AND COMPACTED TO THE SPECIFIED RELATIVE COMPACTION.

2. CONTRACTOR SHALL DEWATER AREAS COVERED WITH STANDING WATER PRIOR TO PLACING FILL OR GRADING UNLESS OTHERWISE NOTED ON PLANS. CONTRACTOR SHALL MAINTAIN WORK IN PROGRESS FREE OF STANDING WATER. WATER SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.

3. CONTRACTOR SHALL CLEAR DEBRIS FROM AREAS OF EARTHWORK AND GRADING PRIOR TO PLACING FILL OR STARTING GRADING OPERATIONS. DO NOT CLEAR AREAS OUTSIDE LIMIT OF WORK.

4. COMPACT FILL MATERIAL AS RECOMMENDED IN THE GEOTECHNICAL REPORT.

5. PLACE FILL MATERIAL IN LIFTS OF 8-INCH MAXIMUM UNCOMPACTED THICKNESS.

6. COMPACT FILL TO 90 PERCENT RELATIVE COMPACTION, EXCEPT AS NOTED IN THE GEOTECHNICAL REPORT. DO NOT PLACE, SPREAD OR ROLL FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS. SOILS ENGINEER WILL BE ON SITE AND WILL PERFORM COMPACTION TESTS PERIODICALLY DURING CONSTRUCTION. CONTRACTOR SHALL RECOMPACT AREAS OF FILL NOT MEETING COMPACTION REQUIREMENTS AS DIRECTED BY THE SOILS ENGINEER.

7. COMPACTION BY FLOODING, PONDING OR JETTING WILL NOT BE PERMITTED.

8. FOR BIDDING PURPOSES CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES.

F. STATEMENT OF RESPONSIBILITY

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD BOTH DESIGN PROFESSIONAL AND THE CITY OF SAN MATEO HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF EITHER THE DESIGN PROFESSIONAL OR THE CITY OF SAN MATEO, RESPECTIVELY.

H. RECORD DRAWINGS

1. KEEP ACCURATE RECORD DRAWINGS, WHICH SHOW THE FINAL LOCATION, ELEVATION, AND DESCRIPTION OF WORK ON A SET OF CONSTRUCTION DOCUMENTS.

2. PROVIDE THE LOCATION AND ELEVATION OF THE EXISTING IMPROVEMENTS ENCOUNTERED. CERTIFY THE "REDLINED" RECORD DRAWINGS FOR THE PROJECT ON A SET OF CONSTRUCTION PLAN REPRODUCIBLES, AND DELIVER THE DRAWINGS TO THE OWNER'S REPRESENTATIVE AT COMPLETION OF PROJECT AND WHEN REQUESTED BY THE OWNER'S REPRESENTATIVE.

I. UNAUTHORIZED CHANGES AND USES

1. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE OR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

J. CONSTRUCTION STAKING

1. ALL IMPROVEMENTS SHALL BE STAKED BY A LICENSED LAND SURVEYOR IN THE STATE OF CALIFORNIA.

K. MATERIAL SUBMITTALS

1. CONTRACTOR SHALL FURNISH ALL MATERIAL SUBMITTALS FOR THE IMPROVEMENTS IN THE CITY RIGHT-OF-WAY.

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C1.01	NOTES, LEGEND, & ABBREVIATIONS
C2.01	EXISTING CONDITIONS
C3.01	PRELIMINARY SITE PLAN
C3.02	DRIVEWAY SIGHT TRIANGLE
C4.01	PRELIMINARY GRADING PLAN
C5.01	PRELIMINARY UTILITY PLAN
C6.01	PRELIMINARY STORMWATER CONTROL PLAN
C7.01	PRELIMINARY EROSION CONTROL PLAN
C7.02	EROSION CONTROL NOTES AND DETAILS
C7.03	SAN MATEO COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES
C8.01	DETAILS

LEGEND

EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	LOT LINE
---	---	SWALE
E	---	ELECTRIC LINE
G	---	GAS LINE-VALVE & METER
SS	SS	SANITARY SEWER PIPE
SL	---	STREET LIGHT LINE
+100.00	SD	SPOT ELEVATION
T	---	STORM DRAIN PIPE
TV	---	TELEPHONE LINE
W	W	WATER LINE
⊕	---	AUTOMATIC SPRINKLER RISER
⊕	---	BACKFLOW PREVENTION DEVICE
⊕	---	ELECTROLIER
⊕	---	FIRE DEPARTMENT CONNECTION
⊕	---	FIRE HYDRANT
⊕	---	WATER METER
⊕	---	GAS METER
⊕	---	TRAFFIC SIGN
+12"TR	---	TREE
□	---	UTILITY BOX
⊕	---	WATER VALVE
●	---	ANODE
○	---	MANHOLE

ABBREVIATIONS

AC	ASPHALT CONCRETE	MH	MH (TYPE UNKNOWN)
BW	BACK OF WALK	MON-MON	MONUMENT TO MONUMENT DISTANCE
CB	CATCH BASIN	PBV	PACBELL/SBC VAULT
C/L	CENTERLINE	PGE	PG&E VAULT
OMP	CORRUGATED METAL PIPE	PIV	POST INDICATOR VALVE
CI	CAST IRON PIPE	PP	POWER POLE
CO	CLEAN OUT	SDMH	STORM DRAIN MANHOLE
CP	SURVEY CONTROL POINT	SLB	STREET LIGHT BOX
CPP	CORRUGATED PLASTIC PIPE	SLV	STREET LIGHT VAULT
CTV	CABLE TELEVISION LINE	SSMH	SANITARY SEWER MANHOLE
DI	DROP INLET	SSV	SANITARY SEWER VAULT
EM	ELECTRIC METER	TBC	TOP BACK OF CURB
EV	ELECTRIC VAULT	TBM	TEMPORARY BENCHMARK
FF	FINISHED FLOOR	TS	TRAFFIC SIGNAL
FL	FLOWLINE	TSB	TRAFFIC SIGNAL BOX
FH	FIRE HYDRANT	UNK	UNKNOWN TYPE
GM	GAS METER	VCP	VITRIFIED CLAY PIPE
GRD	GROUND	WBF	WATER BACK FLOW VALVE
GUY	GUY ANCHOR	WM	WATER METER BOX
GV	GAS VALVE	WV	WATER VALVE
HCR	HANDICAP RAMP	-CTV-	CABLE TELEVISION LINE
HVE	HIGH-VOLT ELECTRIC	-E-	ELECTRICAL LINE
INV.	INVERT	-G-	GAS LINE
IP	IRON PIPE	-OH-	OVERHEAD LINE
JP	JOINT POLE	-SD-	STORM DRAIN LINE
KV	KILOVOLT	-SS-	SANITARY SEWER LINE
LAT.	LATERAL	-T-	TELEPHONE LINE
LG	LIP OF GUTTER	-W-	WATER LINE

BASIS OF BEARING

THE BEARING, NORTH 48°38'00 EAST, OF HAYWARD AVENUE, AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 195 WHICH WAS FILED FOR RECORD IN BOOK 46 OF PARCEL MAPS PAGES 68-72, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON THE CITY OF SAN MATEO ELEVATION SYSTEM. BENCHMARK USED WAS THE RAMSET NAIL AND WASHER ON TOP OF CURB AT THE NORTHERLY INTERSECTION OF FRANKLIN AND PARROTT WITH AN ELEVATION OF 44.309 FEET - CITY BM #068-001

ENGINEER'S STATEMENT

THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

7.14.2021
DATE

MICHAEL A. O'CONNELL, P.E.
ASSOCIATE
BKF ENGINEERS



In Association with:

A Planning Application for:
ONE HAYWARD
1 HAYWARD AVENUE
SAN MATEO, CA 94402

DATE	DESCRIPTION
10.03.2019	PLANNING SUBMITTAL
02.10.2020	PLANNING RESUBMITTAL I
06.12.2020	PLANNING RESUBMITTAL II
08.20.2020	PLANNING RESUBMITTAL III
01.29.2021	PLANNING RESUBMITTAL IV
07.14.2021	PLANNING RESUBMITTAL V

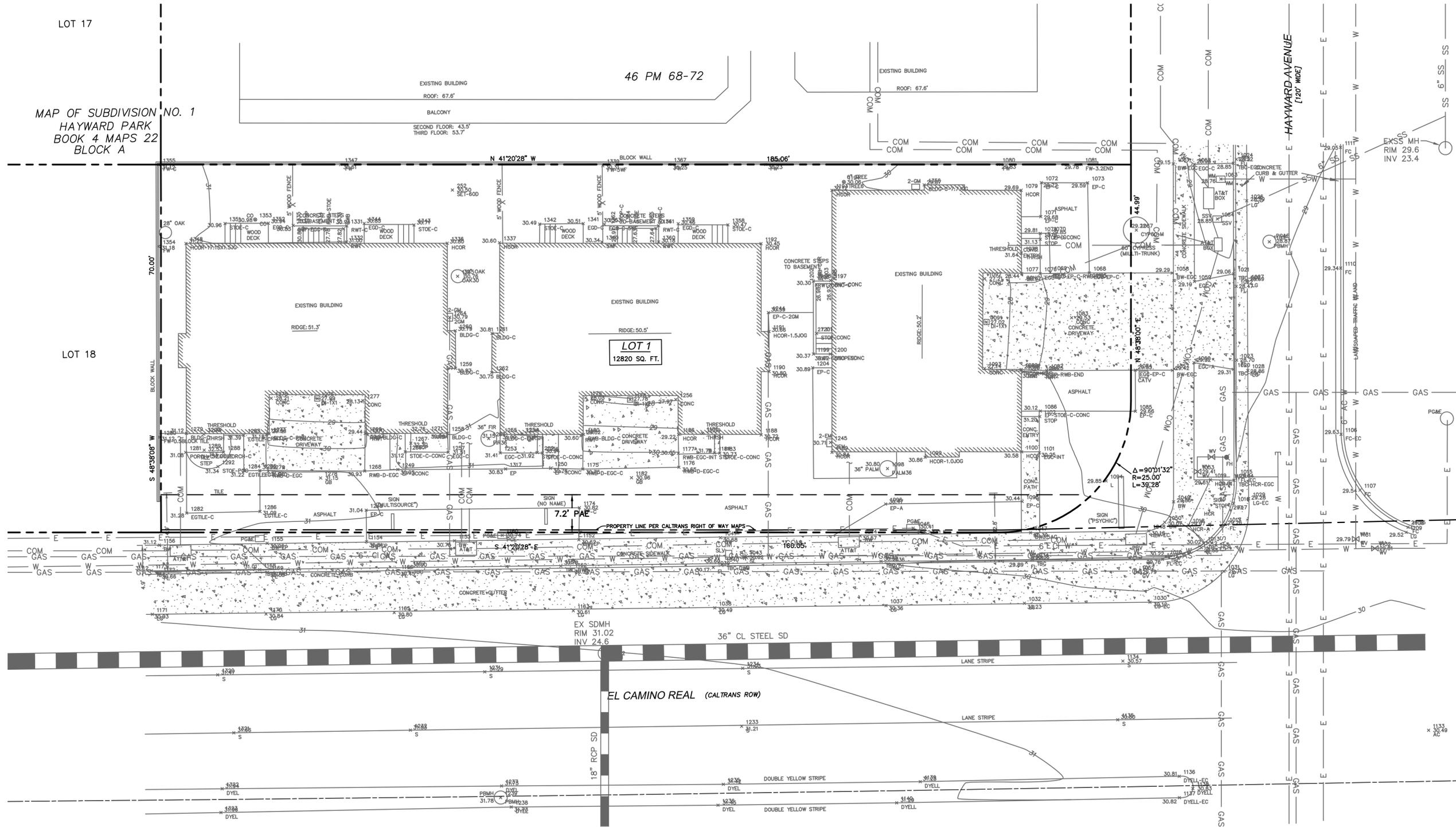


NOTES, LEGEND, & ABBREVIATIONS

C1.01

PROJECT NO: 184688

LOT 17
MAP OF SUBDIVISION NO. 1
HAYWARD PARK
BOOK 4 MAPS 22
BLOCK A



NOTES

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. NCS-578570-SD, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

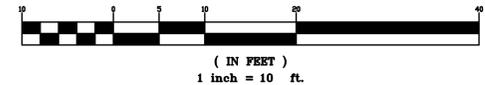
BOUNDARY SHOWN HEREON IS RESOLVED BASED UPON CURB SPLITS AROUND BLOCK. LOT FRONTAGES WERE HELD AS RECORD WIDTH FROM PALM AVENUE.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING

DATE OF FIELD SURVEY: MAY, 2015
JOB NUMBER: 15-080

GRAPHIC SCALE



In Association with:

A Planning Application for:
ONE HAYWARD
1 HAYWARD AVENUE
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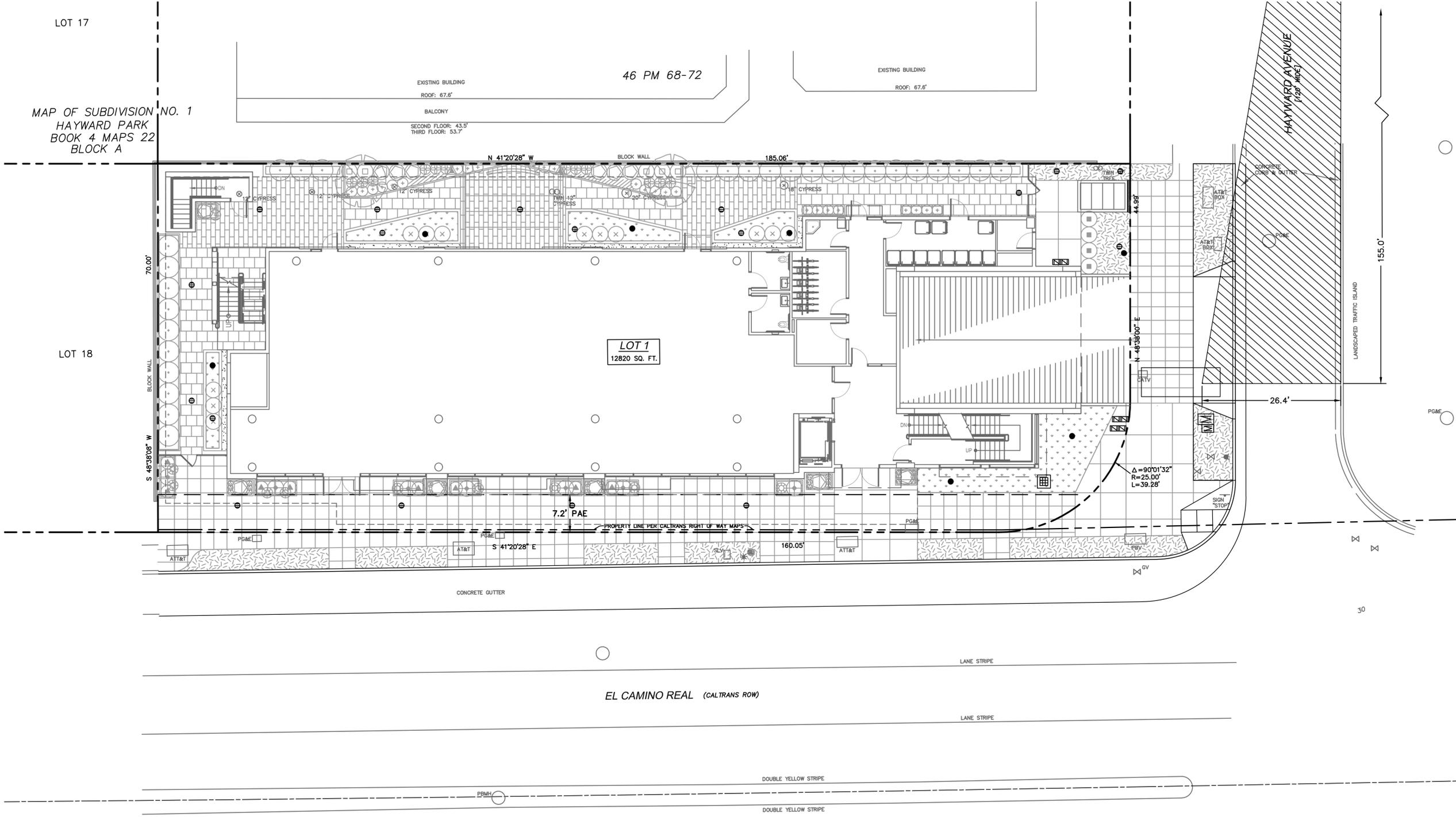


EXISTING CONDITIONS

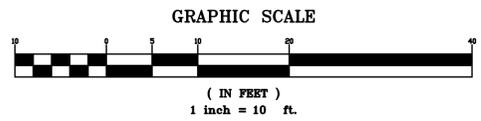
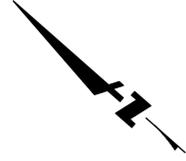
C2.01

PROJECT NO: 184688

LOT 17
MAP OF SUBDIVISION NO. 1
HAYWARD PARK
BOOK 4 MAPS 22
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NOTE:
THE SIGHT TRIANGLE IS BASED ON CITY OF SAN MATEO CURB MARKING POLICY AND PROCEDURES, AND AASHTO MINIMUM STOPPING SIGHT DISTANCE FOR DESIGN SPEEDS OF 25 MPH.



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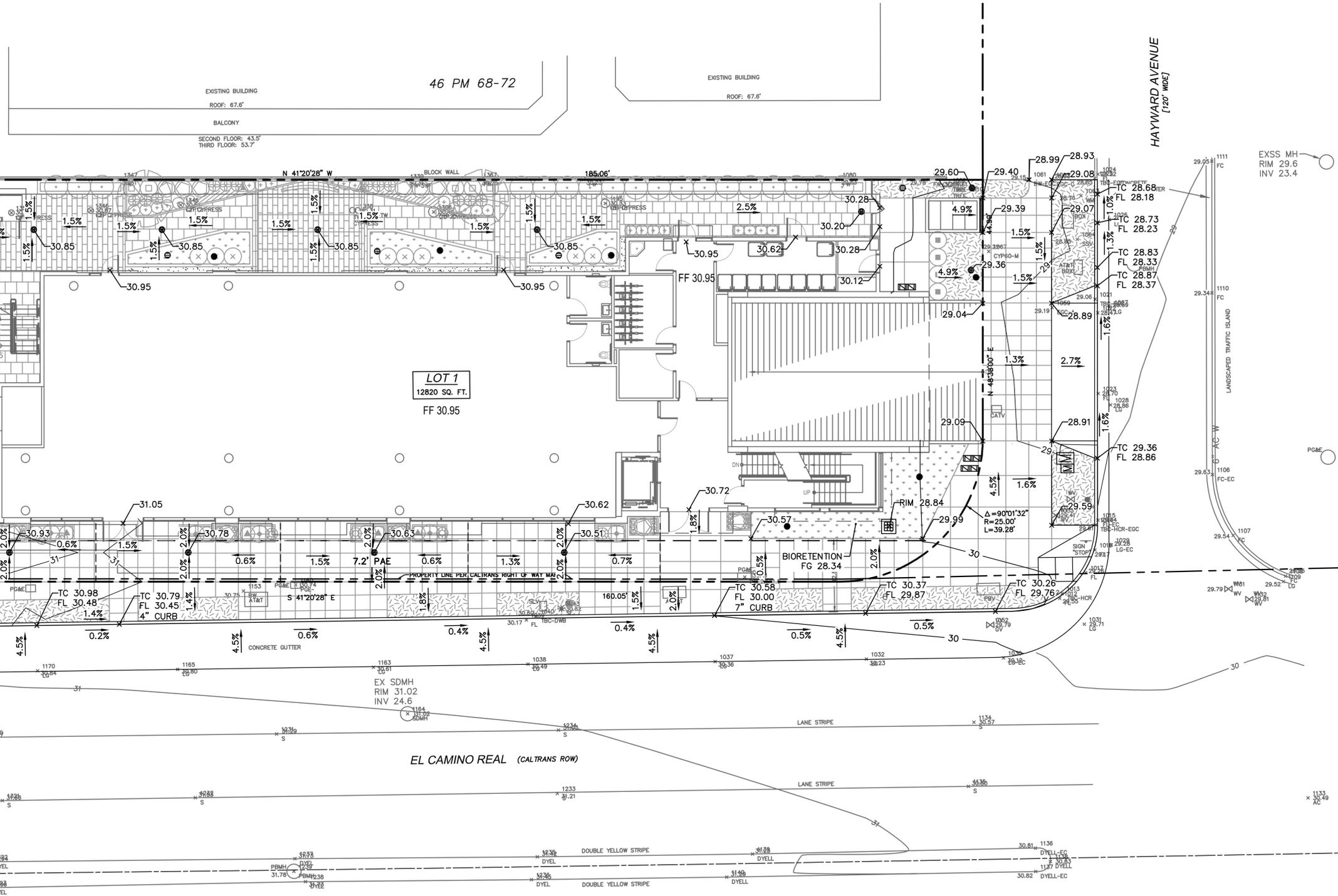


DRIVEWAY SIGHT TRIANGLE

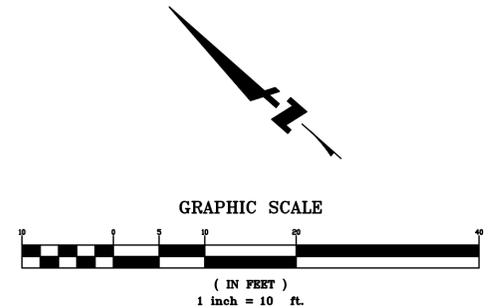
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LOT 17
MAP OF SUBDIVISION NO. 1
HAYWARD PARK
BOOK 4 MAPS 22
BLOCK A

LOT 18



EL CAMINO REAL (CALTRANS ROW)



In Association with:

A Planning Application for:
ONE HAYWARD
1 HAYWARD AVENUE
SAN MATEO, CA 94402

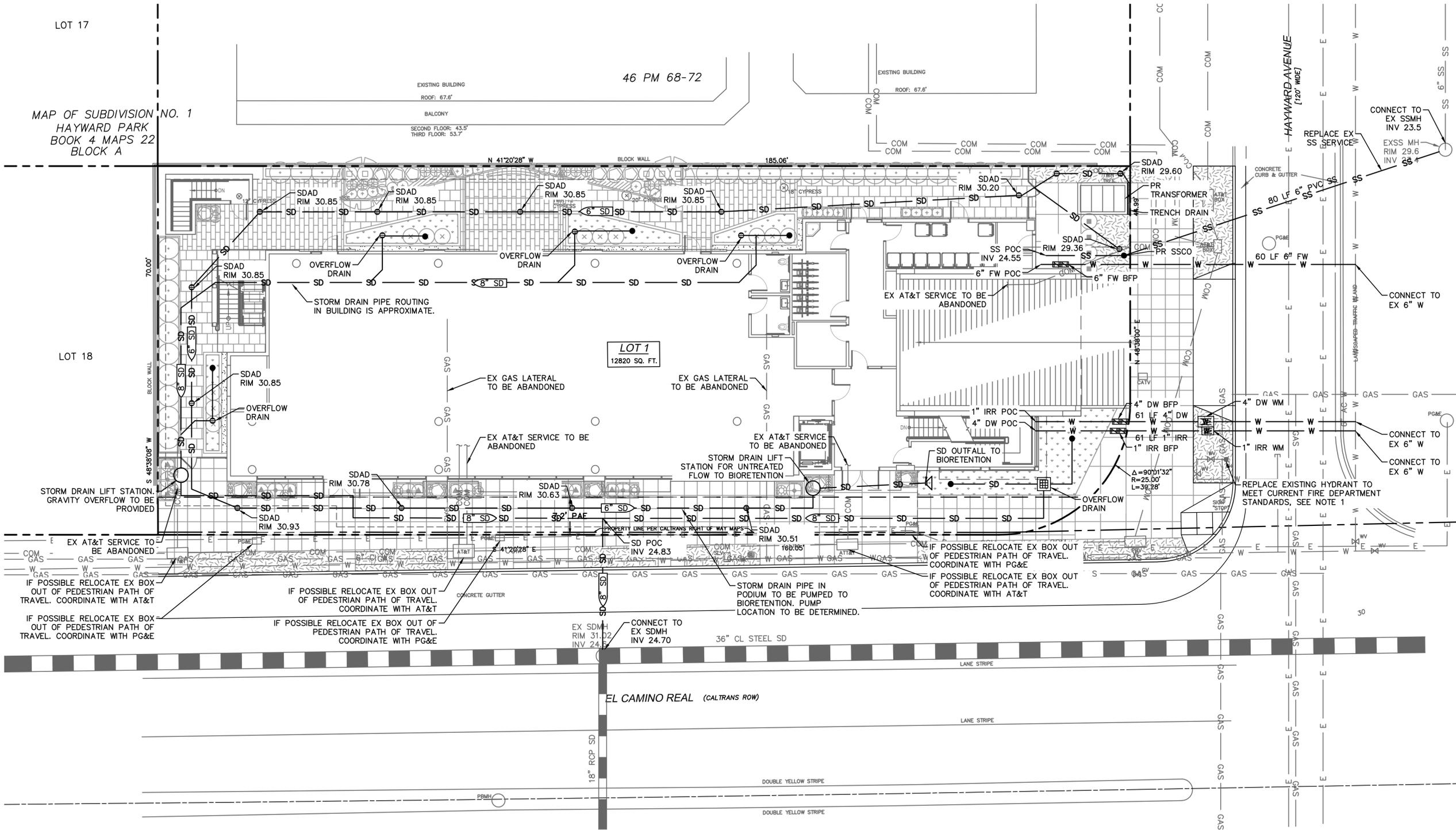
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07.14.2021	PLANNING RESUBMITTAL V



PRELIMINARY GRADING PLAN

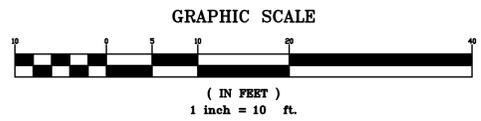
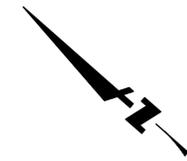
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LOT 17
MAP OF SUBDIVISION NO. 1
HAYWARD PARK
BOOK 4 MAPS 22
BLOCK A



NOTES:

1. ALL FIRE HYDRANTS USED FOR FIRE FLOW FOR THE PROJECT SITE SHALL BE UPGRADED TO A CLOW MODEL 960 OR EQUIVALENT CONSISTING OF (2) 2 1/2 INCH AND (1) 4 1/2 INCH OUTLET. EACH HYDRANT SHALL BE CAPABLE OF PROVIDING A MINIMUM FIRE FLOW OF 1500 GPM AT 20 PSI RESIDUAL PRESSURE.
2. WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH WATER PURVEYOR'S SPECIFICATIONS. THE WATER SUPPLY SHALL BE TESTED, FLUSHED AND APPROVED OPERABLE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING PLACED ON THE SITE. STAGED CONSTRUCTION SHALL INSURE THAT THE NECESSARY WATER SUPPLY IS MAINTAINED FROM STAGE TO STAGE IN THE CONSTRUCTION PLANNING. THE LETTER SHALL BE SUBMITTED TO THE FIRE MARSHAL OR HIS/HER DESIGNEE FOR REVIEW AND APPROVAL BEFORE THE ISSUANCE OF A FIRE SPRINKLER PERMIT.



In Association with:

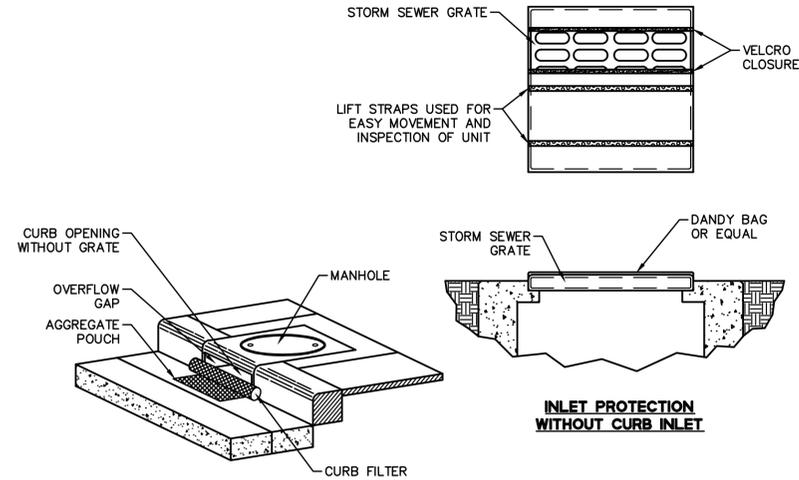
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PRELIMINARY UTILITY PLAN

C5.01
PROJECT NO. 184688

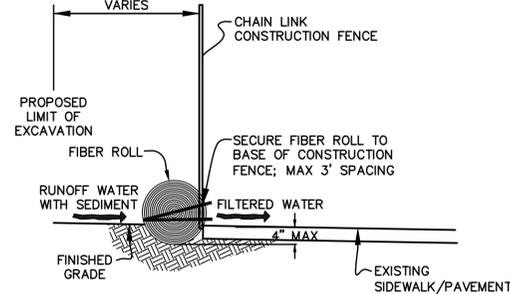


INLET PROTECTION WITH CURB INLET

NOTES:

1. INSTALL PER MANUFACTURERS RECOMMENDATIONS.
2. PRIOR TO INSTALLATION, CLEAR THE AREA AROUND EACH INLET OF OBSTRUCTIONS, INCLUDING ROCKS, CLOUDS, AND DEBRIS GRATER THAN 1-IN DIAMETER.

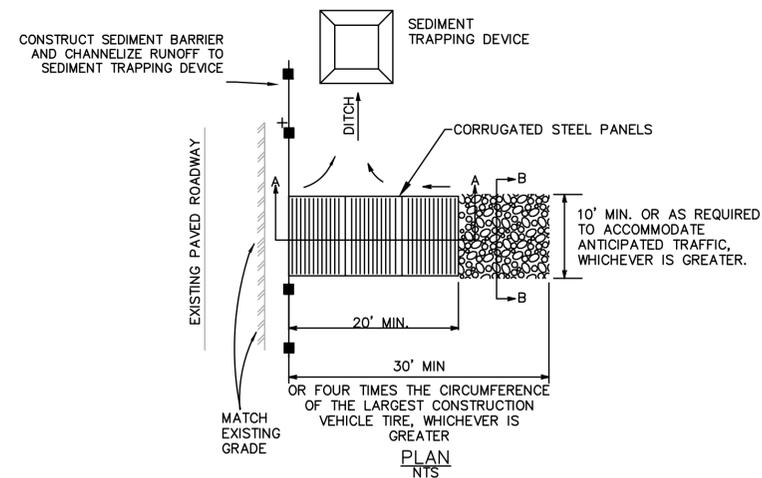
1 CURB INLET SEDIMENT FILTER BAG PROTECTION
NTS



NOTES:

1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE ANCHORING OF THE ROLL TO THE BASE OF THE CONSTRUCTION FENCE IN A TRENCH, 3" TO 4" DEEP, AND WEIGHTED WITH A SAND OR RACK BAG TO PREVENT FIBER ROLL FROM FLOATATION OR UP LIFT.
2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

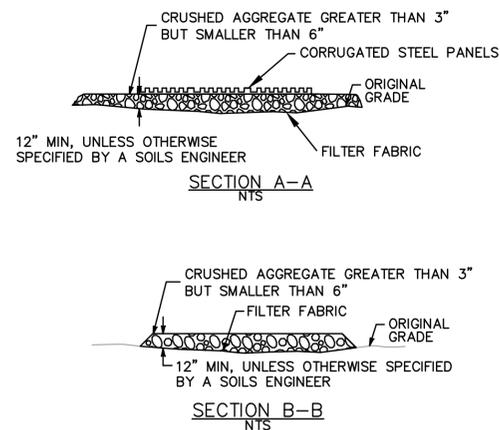
2 FIBER ROLL
NTS



NOTES:

1. THE LOCATIONS SHOWN ARE FOR INFORMATION ONLY. CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL ROCK AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
2. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. SEDIMENT SHALL BE PREVENTED FROM ENTERING THE STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. GRAVELBAGS OR OTHER APPROVED METHODS).
3. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 12".
4. THE WIDTH OF THE PAD SHALL NOT BE LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS, OR 10', WHICHEVER IS LESS.

3 STABILIZED CONSTRUCTION ENTRANCE
NTS



EROSION AND SEDIMENT CONTROL NOTES:

1. DEVELOPER: MERIDIAN INVESTMENT MANAGEMENT
702 MARSHALL STREET #322
REDWOOD CITY, CA 94063
CONTACT: NARSAI TALLO (650) 868-4584
2. CIVIL ENGINEER: BKF ENGINEERS
150 CALIFORNIA STREET, SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.

3. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
4. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCTOBER 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- 5.
6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING AND AFTER STORM EVENTS.
7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR OTHER SUBSTANCE OVER A PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD THE HAUL MATERIAL BLOW, SPILL, OR TRACK OVER UPON SAID PUBLIC OR AND ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
9. DURING THE RAINY SEASON, PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO THE STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING THE POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
12. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS UPGRADED AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM ENTERING THE DOWNSTREAM DRAINAGE SYSTEM.
13. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. GRAVELBAGS, SILT FENCES AND FIBER ROLLS SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
14. THE CONTRACTOR WILL BE RESPONSIBLE FOR DAMAGES TO PUBLICLY AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF MATERIAL SPILLED ON PUBLIC ROADS ON THE HAUL ROUTE, ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
15. BEST MANAGEMENT PRACTICES AS DEFINED IN THE SWPPP SHALL BE OPERABLE YEAR ROUND.
16. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CONSTRUCTION MANAGER AND THE CITY.
17. TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
18. STOCKPILED MATERIAL
 - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - B. EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY, UNLESS STOCKPILING IS NECESSARY.
 - C. SURROUND STOCKPILES WITH PERIMETER SILT FENCES, FIBER ROLLS, APPROPRIATELY SIZED SECONDARY CONTAINMENT, OR OTHER RUNOFF CONTROLS.
 - D. STABILIZE INACTIVE STOCKPILES WITH SOIL STABILIZER AND/OR MULCH, OR COVER WITH A TARPULIN.
 - E. COVER STOCKPILES OF CRUSHED AC OR PCC PAVEMENT WITH A TARPULIN OR PROVIDE CASE-SPECIFIC DESIGNED SECONDARY CONTAINMENT AND SURROUND WITH APPROPRIATE RUNOFF CONTROLS.
 - F. USE INLET PROTECTION FOR STORM DRAIN STRUCTURES ADJACENT TO THE MATERIAL.
 - G. THOROUGHLY SWEEP PAVED AREAS EXPOSED TO SOIL EXCAVATION PLACEMENT.

19. IF NO WORK HAS PROGRESSED FOR A PERIOD OF 6-WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.
20. SEDIMENT AND DEBRIS SHALL BE REMOVED FROM TEMPORARY BASINS AND DRAIN INLETS AFTER EACH STORM. SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
21. PADS SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS REQUIRING SUPPLEMENTAL GRADING TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER.
22. STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBDRAINS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.
23. HAUL ROADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE EROSION RELATED TO HAUL ROADS.
24. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOCKPILED, IT SHALL BE SURROUNDED BY FIBER ROLLS.
25. TEMPORARY AND PERMANENT SLOPES GREATER THAN 5 FEET SHALL BE SEEDED UNLESS OTHERWISE SHOWN ON THE PLAN.
26. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DURING GRADING OPERATION, BEFORE OCTOBER 1 AND PRIOR TO INSTALLATION OF STORM DRAINAGE SYSTEM. SUCH ADDITIONAL MEASURES WILL BE CONTINGENT UPON THE STAGE OF GRADING OPERATION. CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED BY THE ENGINEER.

EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS TO EXISTING PAVED STREETS. MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.

In Association with:

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ONE HAYWARD
1 HAYWARD AVENUE
SAN MATEO, CA 94402

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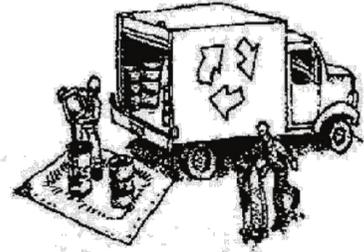
EROSION CONTROL NOTES AND DETAILS

C7.02

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



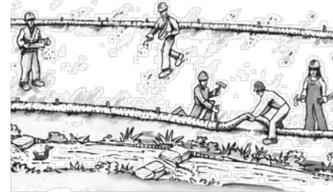
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



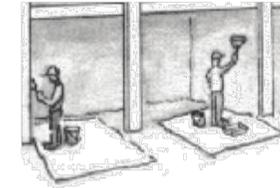
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

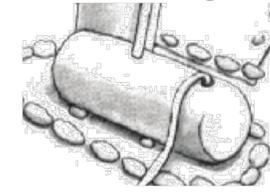
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

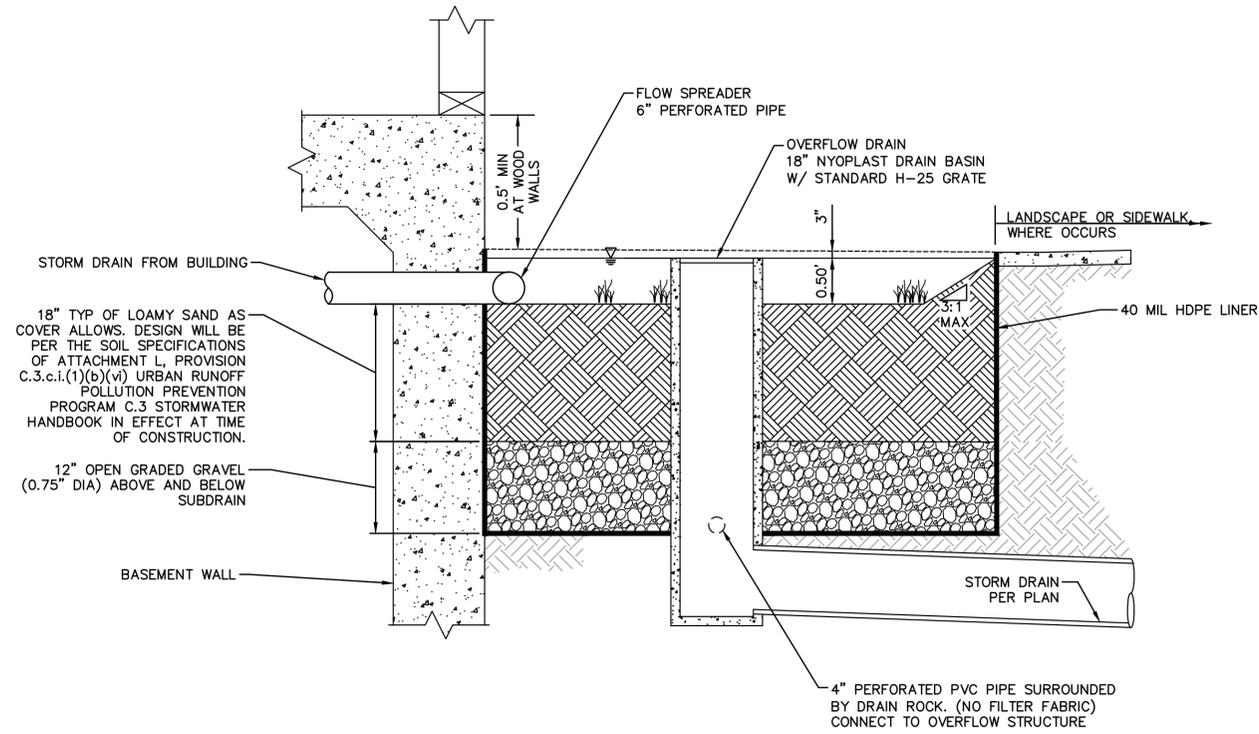
Storm drain polluters may be liable for fines of up to \$10,000 per day!

In Association with:

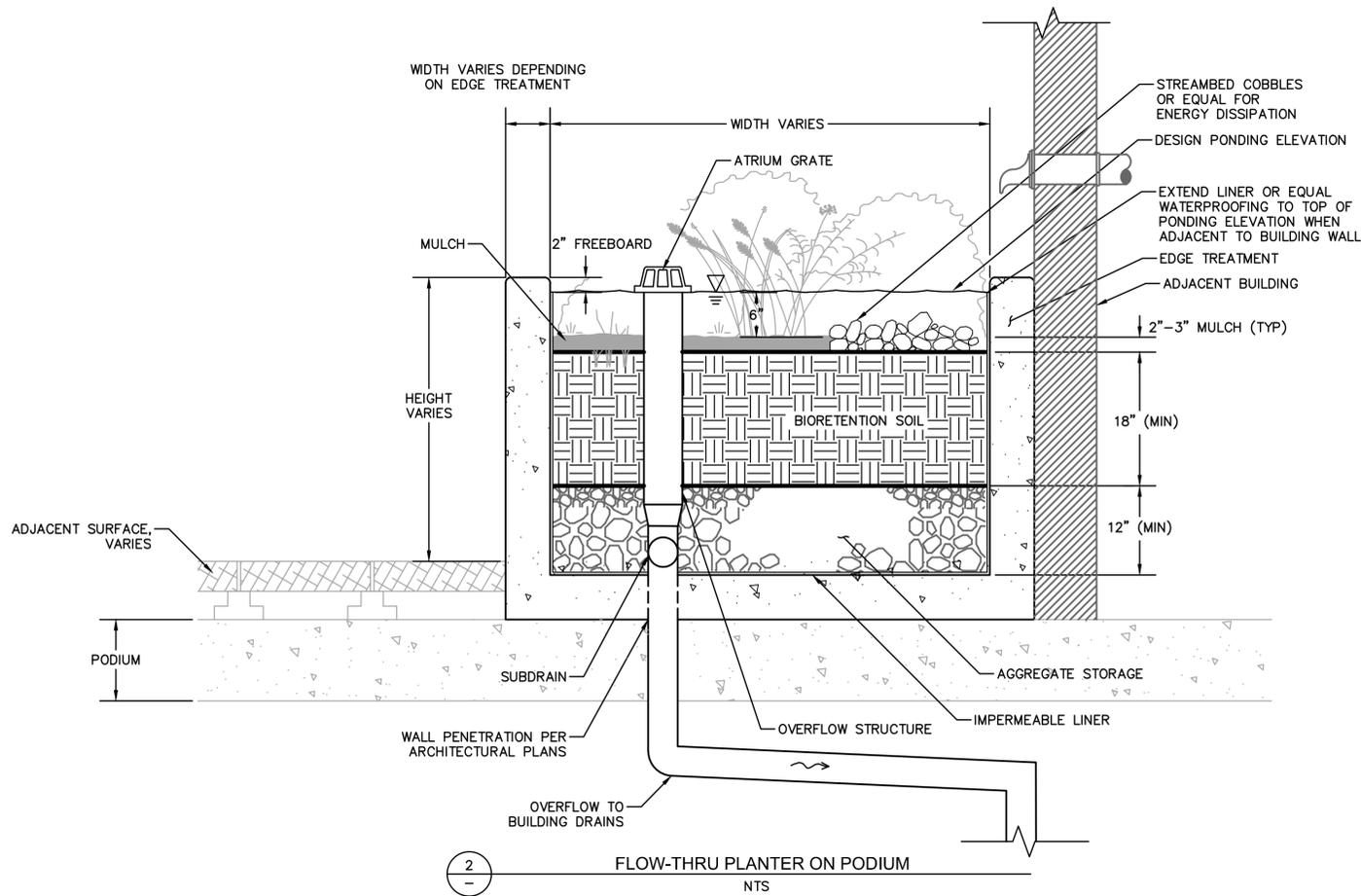
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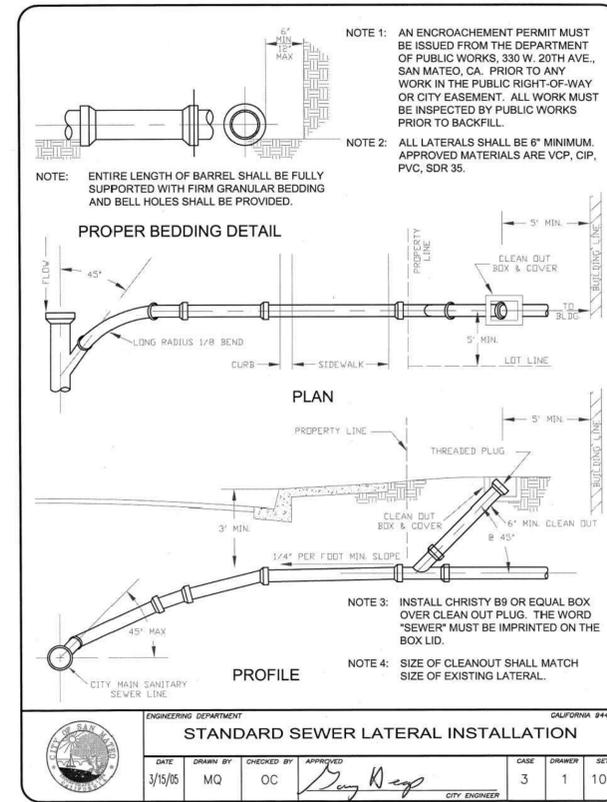




1 FLOW-THRU PLANTER AT GRADE
NTS



2 FLOW-THRU PLANTER ON PODIUM
NTS



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DETAILS

C8.01

PROJECT NO: 184688